

City of Bishop
PLANNING COMMISSION MEETING AGENDA
City Council Chambers – 301 West Line Street
Bishop, California 93514

DATE:

June 25, 2013

7:00 P.M.

NOTICE TO THE PUBLIC

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk (760) 873-5863. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28 CFR 35. 102-35.104 ADA Title II).

Any writing that is a public record that relates to an agenda item for open session distributed less than 72 hours prior to the meeting will be available for public inspection at City Hall, 377 West Line Street, Bishop, California.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC COMMENT: NOTICE TO THE PUBLIC: This time is set aside to receive public comment on matters not calendared on the agenda.

APPROVAL OF MINUTES

- (1) Minutes of the Planning Commission meeting held on May 29, 2013 subject for approval.

PUBLIC HEARING

- (2) Request for a Conditional Use Permit to increase the allowable 80 sq. ft. of signage to 127 sq. ft. of signage at 926 North Main Street, which is in a C-1 zone (General Commercial and Retail).

NEW BUSINESS

- (3) Request for a Conditional Use Permit to increase the allowable 80 sq. ft. of signage to 127 sq. ft. of signage at 926 North Main Street, which is in a C-1 zone (General Commercial and Retail).

STAFF AND COMMISSION REPORTS

ADJOURNMENT: The next regularly scheduled meeting of the Planning Commission will be July 30, 2013 at 7:00 P.M. in the Bishop City Council Chambers, 301 West Line Street, Bishop.

City of Bishop
PLANNING COMMISSION MINUTES
City Council Chambers – 301 West Line Street
Bishop, California 93514

May 29, 2013

CALL TO ORDER:

Chairman Malloy called the meeting to order at 7:00 P.M.

PLEDGE OF ALLEGIANCE:

The Pledge of Allegiance was led by Chairman Malloy.

COMMISSIONERS PRESENT:

Huntley, Lowthorp, Garcia, Bhakta, Crom and Malloy

COMMISSIONERS ABSENT:

Hardy

OTHERS PRESENT:

Gary Schley, Public Services Officer
Keith Caldwell, City Administrator / Planning Director
Michele Thomas, Secretary
Peter Tracy, City Attorney

PUBLIC COMMENT

Chairman Malloy asked if anyone wished to speak on a subject not calendared on the agenda. There was no public comment.

CORRESPONDENCE

None

(1) APPROVAL OF MINUTES

MOTION

Commissioner Huntley moved to approve the minutes of the April 30, 2013 meeting as written.

Ayes: Huntley, Lowthorp, Garcia, Bhakta and Malloy
Abstain: Crom

MOTION CARRIED: 5-0

PUBLIC HEARING

- (2) Request for a Conditional Use Permit to set aside the minimum parking requirements at 106 MacIver Street which is located in a C-1 (General Commercial zone).

Prior to opening the public hearing, Schley explained that The Salvation Army is proposing a project to build a 9000 sq. ft. chapel/thrift store. The facility requires per Bishop Municipal Code 74 parking spaces and they are able to provide 46 on the site. They are asking for a Conditional Use Permit to set aside 28 parking spaces. The packet provides a parking survey and a memorandum of understanding with the adjacent property owner, Pizza Factory, to allow Salvation Army to use their parking lot for overflow parking.

Malloy asked what the number of parking spaces are based on. Schley said that it is based on the Municipal Codes listed parking spaces per square feet of occupancy type.

Malloy stated that any decision made by the Planning Commission may be appealed to the City Council within 5 business days.

The Public Hearing opened at 7:04 p.m.

Major Don Bowman, Salvation Army Field Representative, stated that there has been over 2 years of survey count conducted on the present parking lot for their church on West Line Street. The survey was based on the busiest time for the facility which is Sunday morning with counts of 11 to 34 vehicles maximum with an average of 18 vehicles. A study was also conducted for on-site street parking at the new proposed site and is shown to be only 50% utilized. Major Bowman continued to explain that the Salvation Army made mutual agreements with the neighboring businesses to be able to utilize their parking spaces if necessary.

Christina Paloma, Bishop Salvation Army Soldier, explained that the reason there is a low need for parking spaces is because the population that is served in their congregation has a large number of homeless and or mentally ill. Most church goers walk or ride a bike to the service.

Jason Griffin, JW Griffin Construction representing the Salvation Army, asked the commission if there were any questions he may answer from the plans submitted. Lowthorp questioned the 5 foot block wall that looks to surround the perimeter of the property. Schley stated that the wall is only on the east property line and it currently exists. Griffin added that there will be a 6 foot green easement between the block wall and the building structure according to Bishop Municipal Code. It was noted that on some of the plans submitted, the block wall said to be added will not be. Schley also gave clarification that of the two accesses into Pizza Factory's parking lot, one is an alternate. Garcia asked if there would be only 2 handicapped parking spaces. Schley answered yes and that it is all that is required. There is also an electrical vehicle parking space and a couple compact spaces. Crom asked if long term parking will be allowed.

Kathryn McCauly, Bishop Salvation Army Lieutenant, explained that the only vehicles to be parked long term would be the Disaster Canteen, a pool trailer, and up-to two company vans. McCauly added that staff picks up many of the people who go to church or meetings in their van because most do not drive. Garcia questioned another study conducted from 2010-2012 regarding church attendees and if the Salvation Army expects this number to increase. McCauly expressed her hopes that more would come to the church. She stated that they

conduct monthly counts and they currently average 30-45 on Sundays with approximately 10 vehicles not including staff.

The Public Hearing closed at 7:22 p.m.

(3) Proposed amendment of Zoning Ordinance – Cottage Food Operation

The Public Hearing opened at 7:37 p.m.

The Public Hearing closed at 7:38 p.m.

NEW BUSINESS

(4) Request for a Conditional Use Permit to set aside the minimum parking requirements at 106 MacIver Street which is located in a C-1 (General Commercial zone).

Lowthorp asked Schley if he had any further clarification regarding the Religious Land-Use and Institutionalized Persons Act of 2000. Schley stated that he had put the definition in his memo and that was all he had on the act.

Bhakta stated that he likes the revised plan for the flow of traffic with a single entry and single exit although is concerned the one-way proposed overflow may be going in the wrong direction. Bhakta is concerned there may be issues if it becomes a primary route of traffic from the Pizza Factory parking lot into the Salvation Army parking lot. Discussion was conducted regarding a retaining wall and bumper stops to help with traffic flow. Other concerns arose pertaining to drainage issues.

Crom asked Salvation Army about the services and meetings they conduct throughout the week. McCauly said that there is church service on Sunday mornings and various programs during weekday evenings and afternoons when the thrift store is not open. The programs average 15 attendees.

Chairman Malloy made a motion to approve the request for a Conditional Use Permit to set aside the minimum parking requirements by 28 to make a total of 46 spaces, as presented in the commission packet, with the condition of prohibiting long term parking, with the exception of a disaster, otherwise limited to Salvation Army vehicles only.

MOTION CARRIED: 6-0

(5) Proposed amendment of Zoning Ordinance – Cottage Food Operation

Lowthorp made a motion to recommend to the City Council the proposed amendment of the Zoning Ordinance and Bishop Municipal Code Title 17 to include a definition for “Cottage Food Operation”, and amend section 17.20.020 R-1 Single Family Residential District, Uses Permitted, to include a cottage food operation as a permitted home occupation use.

MOTION CARRIED: 6-0

STAFF AND COMMISSION REPORTS:

Schley said that there is not much to report as this time. There is a potential sign CUP application for Taco Bell that may come in this week. Staff has started work on the

City's Housing Element and would be presented to the commission in the fall for review. Cottonwood Plaza has installed grease interceptors, oil water separator for the parking lot, put in new stairways, and they have painted the exterior of the buildings.

Huntley asked Schley how many different parking requirement levels are there. Schley said that there are 15-20 categories. Huntley asked if the commission could be given a paper that shows the different categories to refer to. Schley said that he will put something together and have it in ready by the next meeting for reference.

Caldwell thanked Crom for his service as a Planning Commission for the past 4 years. Caldwell also introduced Mark Heckman who was appointed to fill the commission vacancy starting at the June meeting.

ADJOURNMENT:

Chairman Malloy adjourned the meeting at 7:44 P.M. The next scheduled meeting will be June 25, 2013 at 7:00 P.M. in the City Council Chambers.

Chairman Malloy

Michele Thomas, Secretary

MEMORANDUM

TO: Planning Commission

FROM: Keith Caldwell, Director of Planning

SUBJECT: PUBLIC HEARING – Conditional Use Permit –
926 North Main Street

DATE: June 19, 2013

A Public Hearing has been scheduled to hear and consider public input on the request for a Conditional Use Permit to set aside the allowable signage square footage of 80 sq. ft to 127 sq. ft at 926 North Main Street, which is in a C-1 (General Commercial and Retail) zone.

RECOMMENDATION:

Hold Public Hearing

MEMORANDUM

TO: Planning Commission

FROM: Keith Caldwell, Planning Director

SUBJECT: NEW BUSINESS – Conditional Use Permit – 926 North Main Street

DATE: June 19, 2013

Taco Bell is proposing a project to update their existing signage at 926 North Main Street. The maximum allowable signage for commercial exterior is 80 square feet pursuant to the Bishop Municipal Code. The proponent is requesting to increase their existing signage of 89 square feet to 127 square feet.

RECOMMENDATION:

Review the request for a Conditional Use Permit to increase the allowable signage at 926 North Main Street and make a recommendation for approval.

MEMORANDUM

Date: June 19, 2013

To: Keith Caldwell, City Administrator

From: Gary Schley, Public Services Officer

Project Title: CUP / Taco Bell Signage

Project Proponent: Mike Scarr
LTD Management, LLC
801 10th Street, 5th Floor #2
Modesto, Ca 95354

Background: A request of a Conditional Use Permit to allow the applicant LTD Management to set aside Bishop Municipal Code Section 17.76.100 Signs-Commercial Districts at the Taco Bell Restaurant, 926 North Main Street. The site is a .29 acre parcel between the cross streets of Yaney and MacIver (APN 08-120-17). The project parcel and adjacent parcels have a zoning designation of C-1 General Commercial and Retail. The setting to the west is US 395 (Main St.), to the north a restaurant, to the south a parking lot and Yaney St. and to the east office and commercial facilities.

Code Section 17.17.100 states commercial exterior signs “shall not exceed thirty feet in height or exceed eighty square feet in area, nor shall any such sign, or an accumulation of exterior signs, exceed eighty square feet in area without first obtaining a conditional use permit from the planning commission.”

Proposed Signage: The request is to allow for an accumulation of 127 square feet of signage for the Taco Bell Restaurant. The proposed signage will be in several locations on site; five wall signs located on the south, east and west exterior walls, which total 75 sq. ft., and one 52 sq. ft. pole sign (existing). The proposed wall signage will increase the total facility signage from 89 sq. ft. to 127 sq. ft.

Based upon a review of the proposed project it is determined categorically exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sec. 15301, (Title 14 of the California Code of Regulations) as a minor alteration of an existing facility.

Recommendation: Review the request for a Conditional Use Permit to allow for 127 square feet of facility signage at the Taco Bell Restaurant, 926 North Main Street.

City of Bishop

Use Permit and Zoning Variance Application Form
(To be completed by applicant)

Date Filed 5/2/13

This application is for a (underline one) Conditional Use Permit Zoning Variance

HUGH MURPHY,
VMI ARCHITECTURE, 637 5TH AVE., SAN RAFAEL, CA 94901

Name and address of applicant:

MIKE SCARR,
LTD MANAGAMENT, LLC, 801 10TH STREET 5TH FLOOR #2, MODESTO, CA 95354

Name and address of property owner:

TACO BELL RESTAURANT

Legal description of property:

926 N. Main Street, Bishop, CA 95314

Location (address, section, township, range, parcel number):

COMMERCIAL

Present zoning:

General Plan designation:

QUICK SERVE RESTAURANT - SIGNAGE ADDITION

Proposed use of property:

Consent of Owner: The following must be signed by at least one owner of record. I consent to the information accompanying this statement.

<u></u>	<u>5-1-13</u>
Signature	Date
<u>MIKE SCARR</u>	<u>MISCARVE LTD MGMT.NET</u>
Name	Phone or email

Applicant Certification: I hereby certify that the statements furnished above and in the attached exhibits present the data and information required to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

<u></u>	<u>5-2-13</u>
Signature	Date
<u>HUGH MURPHY, ARCHITECT</u>	<u>(415) 451-2500 X 21, Email: HMURPHY@VMARCH.COM</u>
Name	Phone or email

This Section For City Use

Filing Fee:

Receipt/application number:

Accepted for processing (signature and date):

Staff action:

Planning Commission Action:

Remarks

May 29, 2013

To: Planning Director – City of Bishop

From: Mike Scarr – Taco Bell Owner – Operator

Re: Conditional Use Permit for Taco Bell Signage

Taco Bell of LTD Management LLC, is requesting approval of 37.87 additional square feet of signage on our restaurant to brand and compliment the new exterior façade improvements.

The signage is critical for visibility to our restaurant. It will be attached to building exterior and will not affect the surrounding businesses or neighborhood. If there any specific questions regarding this application, please feel free to call me on (530) 308-6175.

Sincerely,

Mike Scarr

LTD Management LLC,
801 10th Street, 5th Floor #2
Modesto, CA 95354
Phone: (530) 308-6175

05/29/13

Taco Bell: Existing & Proposed Signage Calculations (see attached pdf's)

Existing:

Total building signage (see 01_ExistingBuildingSignage.pdf) = 18.73 sft. x 2 = 37.40 sq. ft.
1 Pole sign = 8'-10"H x 5'-10"W = 51.47 sq. ft.
Total existing signage = 88.87 sq. ft.

Proposed Signage:

2 new swinging bells (sign item V322) = 21.73 sft. x 2 = 43.46 sq. ft.
New Drive-thru canopy letters (sign item V308) = 7.49 sq. ft.
New 12" Channel letters (sign item V349) = 12.16 sft. x 2 = 24.32 sq. ft.
1 Pole sign (existing) = 8'-10"H x 5'-10"W = 51.47 sq. ft.
Total new signage: = 126.74 sq. ft.

Additional signage proposed = 37.87 sq. ft.



Taco Bell
926 N. Main St.
Bishop, CA 95314

Taco Bell pole sign - 8'10"H x
5'10"W = 51.47 sq. ft.



Taco Bell
926 N. Main St.
Bishop, CA 95314

Front entry
tower signage
total 18.70 sft.

Total 18.70 sft.

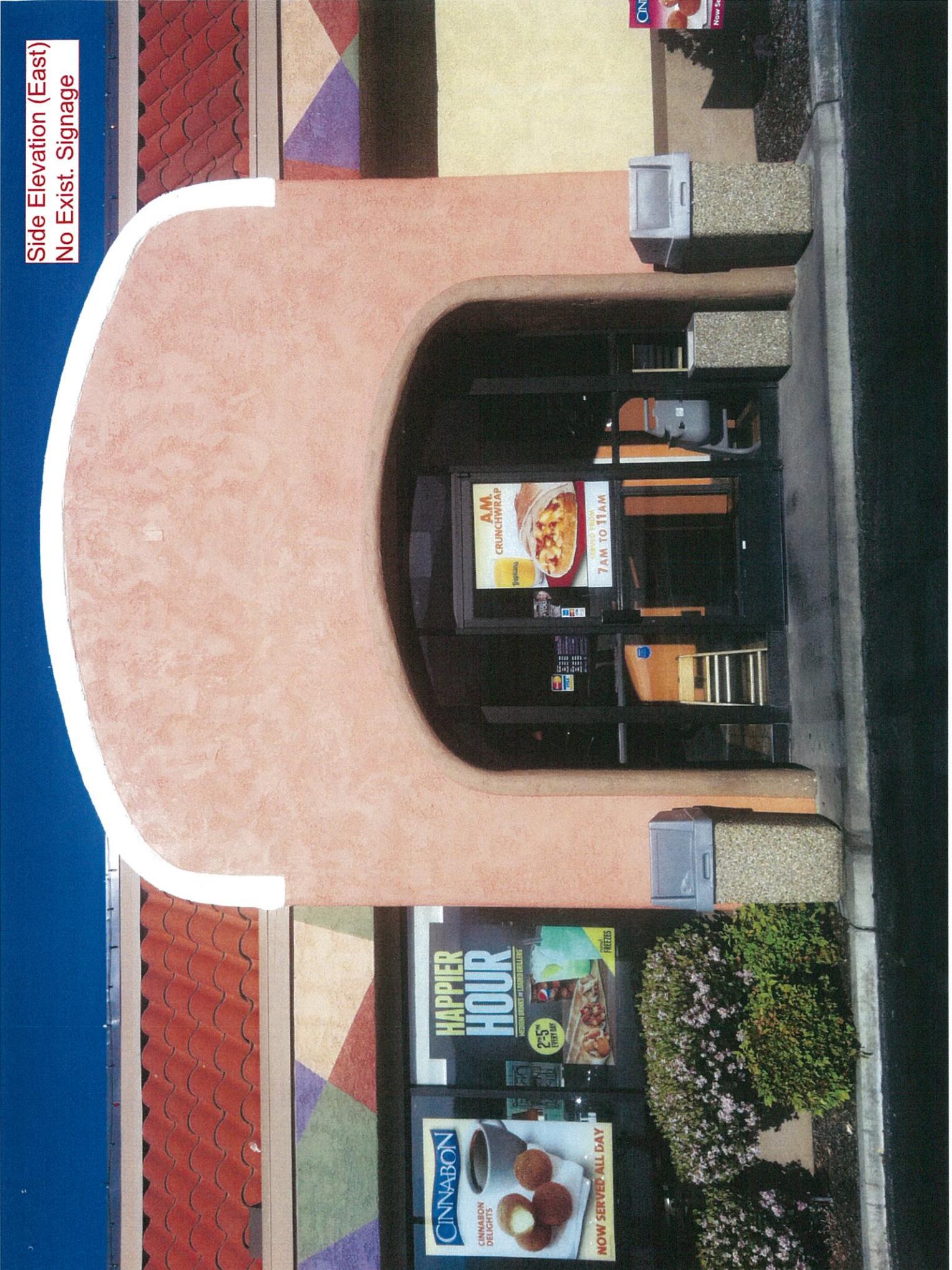
Bell - 3'-2" x 2'-9"H = 8.70 sft.

Letters - 10' x 1'-0"H = 10 sft

(E) directionals to
remain

Exist. Building signage
TOTAL = 37.40 sft.

Side Elevation (East)
No Exist. Signage



No rear elevation
building sigange



Taco Bell



TACO BELL AT 926 N. MAIN STREET, BISHOP, CA 93514



SOUTH ELEVATION (FRONT)



EAST ELEVATION (FACING SHOPPING CENTER – NO EXISTING SIGNAGE)

TACO BELL AT 926 N. MAIN STREET, BISHOP, CA 93514

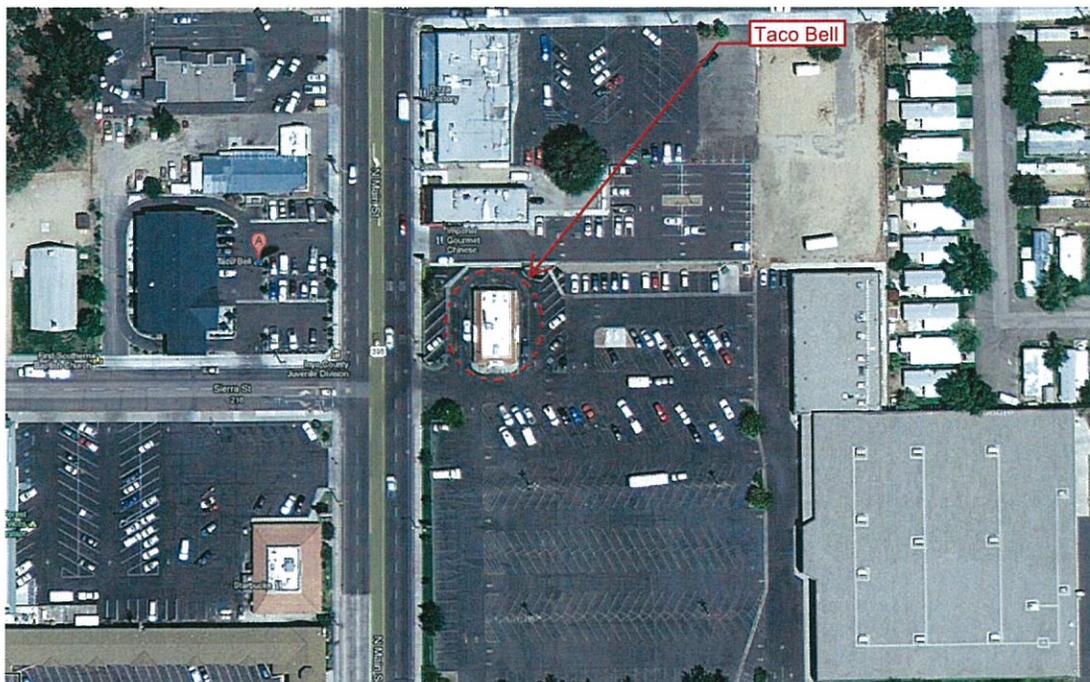


WEST ELEVATION (FACING MAIN STREET)



NORTH ELEVATION (NO EXISTING SIGNAGE)

TACO BELL AT 926 N. MAIN STREET, BISHOP, CA 93514



AERIAL PHOTOGRAPH

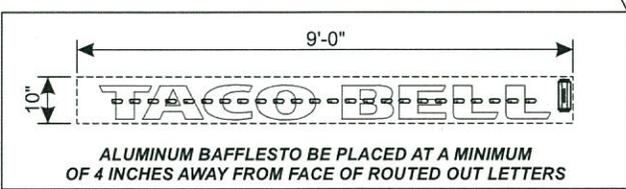
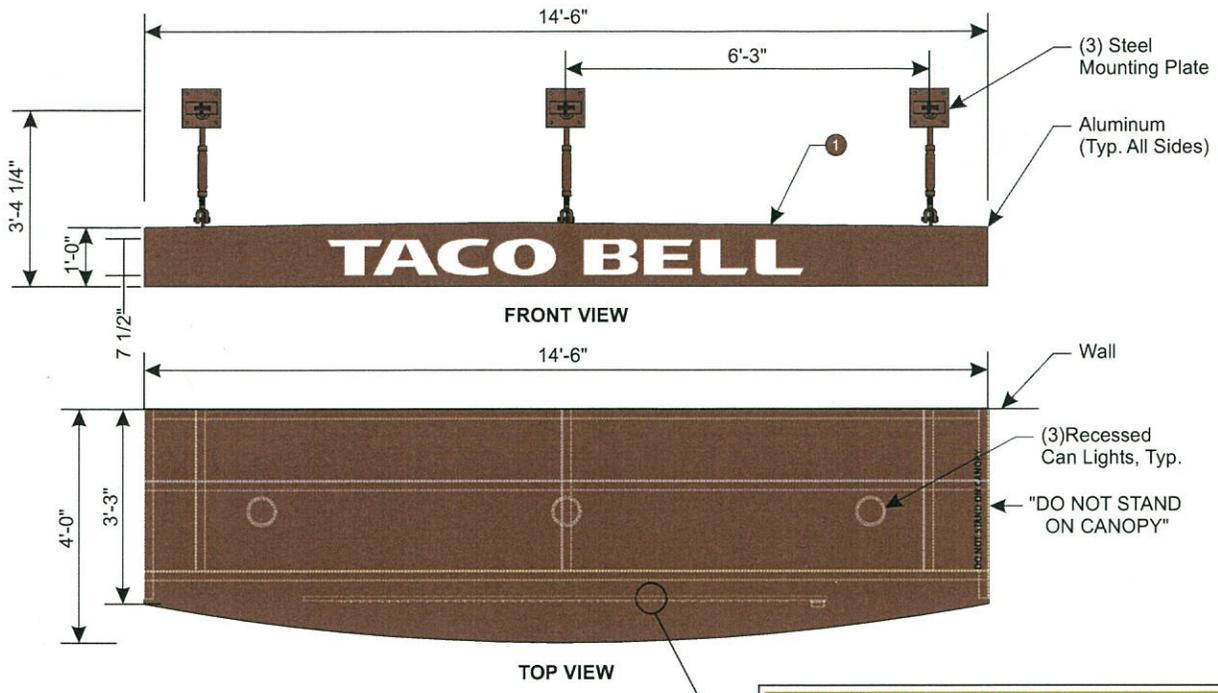


STREET VIEW FROM N. MAIN STREET



Taco Bell - 4'-0" x 14'-6" Canopy

V-308



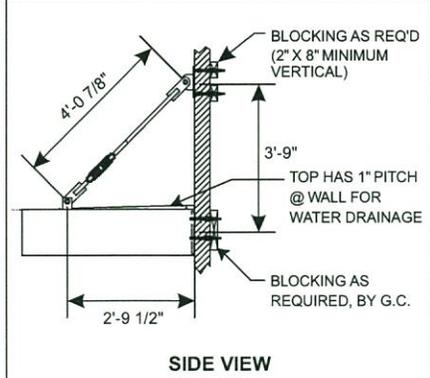
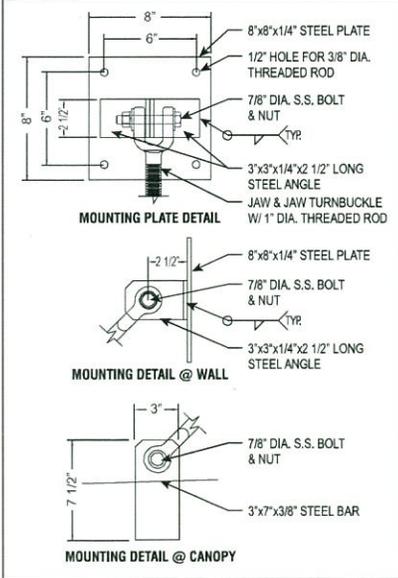
SPECIFICATIONS

- DESIGN PARAMETERS**
- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
 - 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
 - Snow load as required.
 - Attachment may vary based on wall conditions.
 - Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
 - Refer to written documentation for material specifications.

- Canopy**
- Fabricated aluminum frame
 - Frame constructed of channel and angle
 - Painted Tiger Drylac Bronze Metallic #49-66230
 - Service doors located on bottom side of canopy
 - Letters to be routed and backed with 3/16" white polycarbonate

- ELECTRICAL/ PERFORMANCE SPECIFICATIONS**
- NEC approval required.
 - 12V, Class II UL approved system.
 - 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
 - Thermally managed surface mount devices (SMD).
- Lamp(s): Recessed down-lighting fixtures utilizing (3) 20W self-ballasted compact fluorescent lamps (0.17 amps ea)
- LED(s): (24) AgiLight LS-CORE-65K-G2 White (6500K) LEDs (8 ft) or equivalent - pre-approval required
- Power Supply: (1) General LED PS12-60W-100-277V @ 0.8 amps or equivalent
- Total Load: 1.31 amps
- Circuits(s): (1) 20 amp-120V

- GRAPHIC & COLOR SPECIFICATIONS:**
- TB Bronze Tiger Drylac 49-66230 C33
 - Plum PMS 2685U
 - Amber Wave SW-6657 PMS 138U
 - PMS 131U
 - PMS 139U
 - Yellow PMS 108U
 - Pantone Process Magenta U
 - Pantone Violet U
 - Pantone Black
 - Benjamin Moore Bavarian Creme White #2146-70
 - Violet 3M Vinyl 3630-9126
 - White Matte - Cabinet Interior



SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

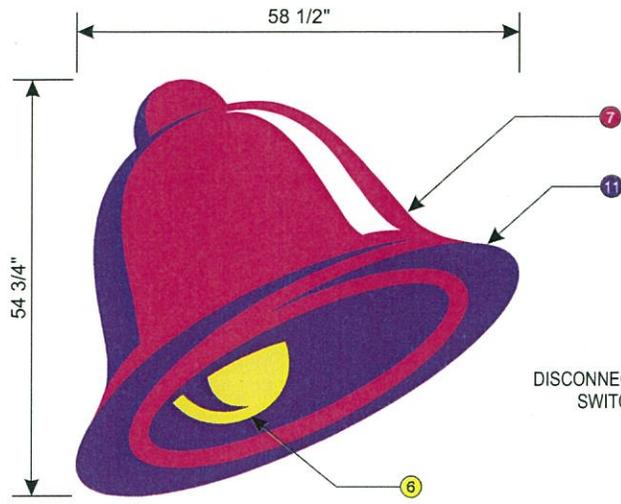
NOT FOR CONSTRUCTION
DECEMBER 2012



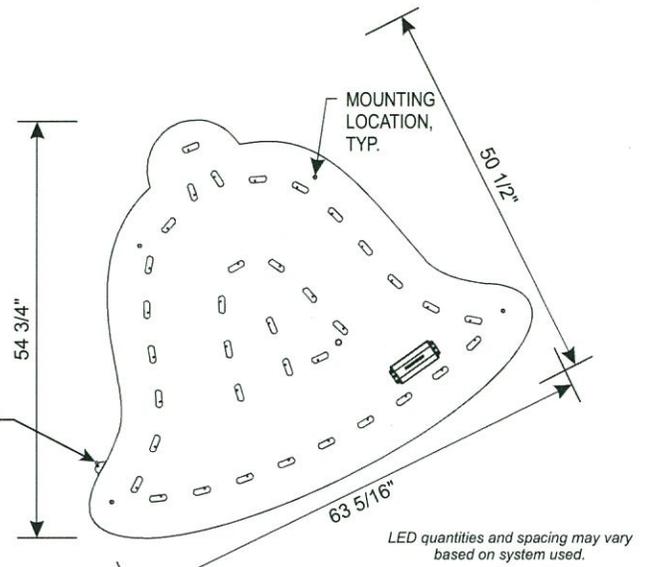


Taco Bell - Swinging Bell - Formed Face

V-322



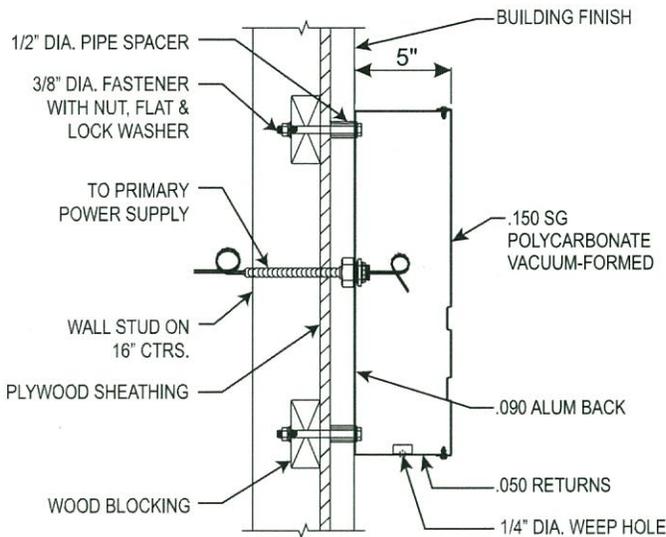
FRONT VIEW



ILLUMINATION LAYOUT

TYPICAL SECTION

N.T.S.



SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

SPECIFICATIONS

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

Materials

- Cabinet: .050 aluminum returns w/ violet finish and .090 aluminum back
- Face: .150 SG polycarbonate vacuum formed
- Second surface decoration
- Removable face for service

Area

- Squared: 22.24 sf
- Actual: 14.19 sf

Weight (Est.)

- 100 lbs

ELECTRICAL/ PERFORMANCE SPECIFICATIONS

- NEC approval required.
- 12V, Class II UL approved system.
- 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
- Thermally managed surface mount devices (SMD).

LED(s): (36) AgiLight LS-APEX-50K-G2 White (5000K) LEDs (18 ft) or equivalent - pre-approval required

Power Supply: (1) General LED PS12-60W-100-277V @ 0.8 amps or equivalent

Total Load: 0.8 amps

Circuits(s): (1) 20 amp-120V

GRAPHIC & COLOR SPECIFICATIONS:

- ① TB Bronze Tiger Drylac 49-66230 C33
- ② Plum PMS 2685U
- ③ Amber Wave SW-6657 PMS 138U
- ④ PMS 131U
- ⑤ PMS 139U
- ⑥ Yellow PMS 108U
- ⑦ Pantone Process Magenta U
- ⑧ Pantone Violet U
- ⑨ Pantone Black
- ⑩ Benjamin Moore Bavarian Creme White #2146-70
- ⑪ Violet 3M Vinyl 3630-9126
- ⑫ White Matte - Cabinet Interior

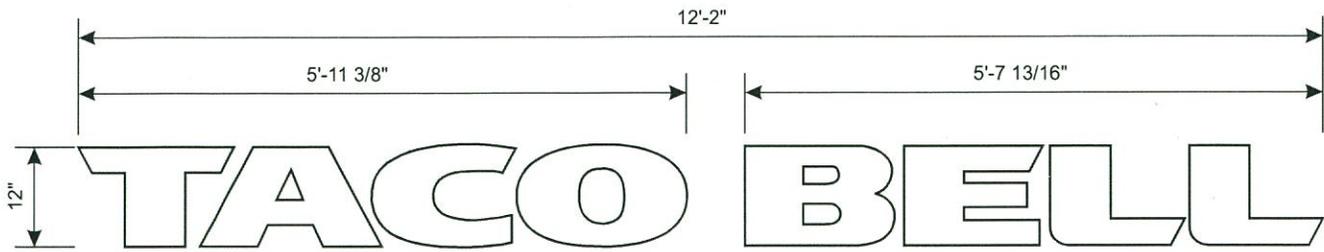
NOT FOR CONSTRUCTION
DECEMBER 2012



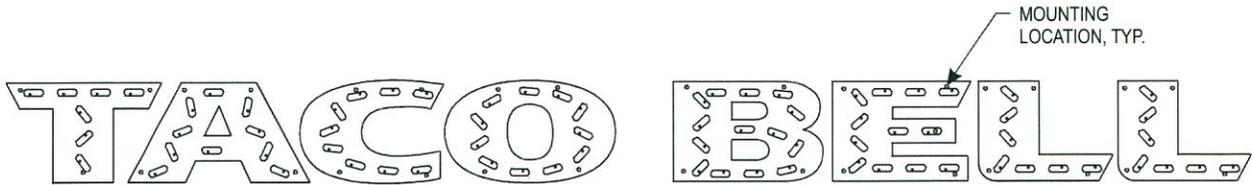


Taco Bell - 12" Channel Letter

V-349

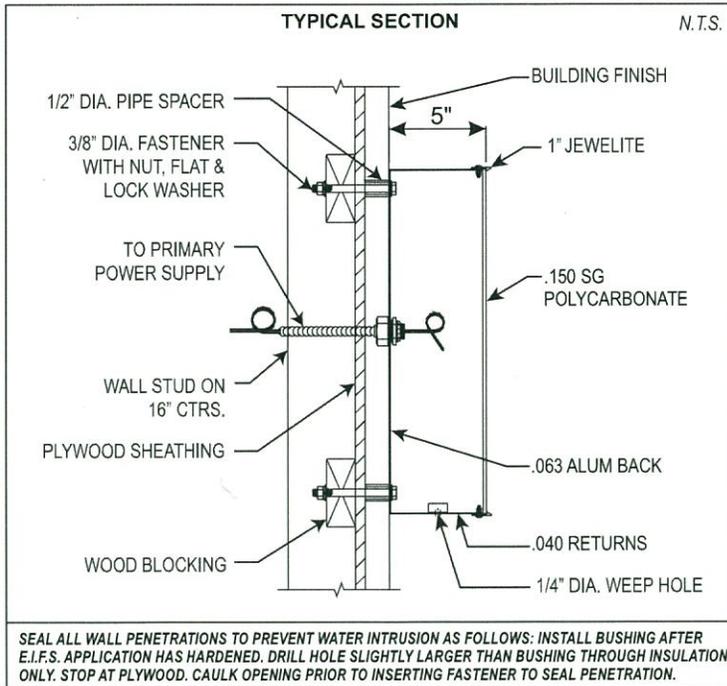


FRONT VIEW



ILLUMINATION LAYOUT

LED quantities and spacing may vary based on system used.



SPECIFICATIONS

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

Materials

- Cabinet: .040 aluminum returns w/ white finish and .063 aluminum back
- 1" white Jewelite trim
- Face: .150 SG polycarbonate
- Removable face

Area

- Squared: 12.17 sf
- Actual: 8.18 sf

ELECTRICAL/ PERFORMANCE SPECIFICATIONS

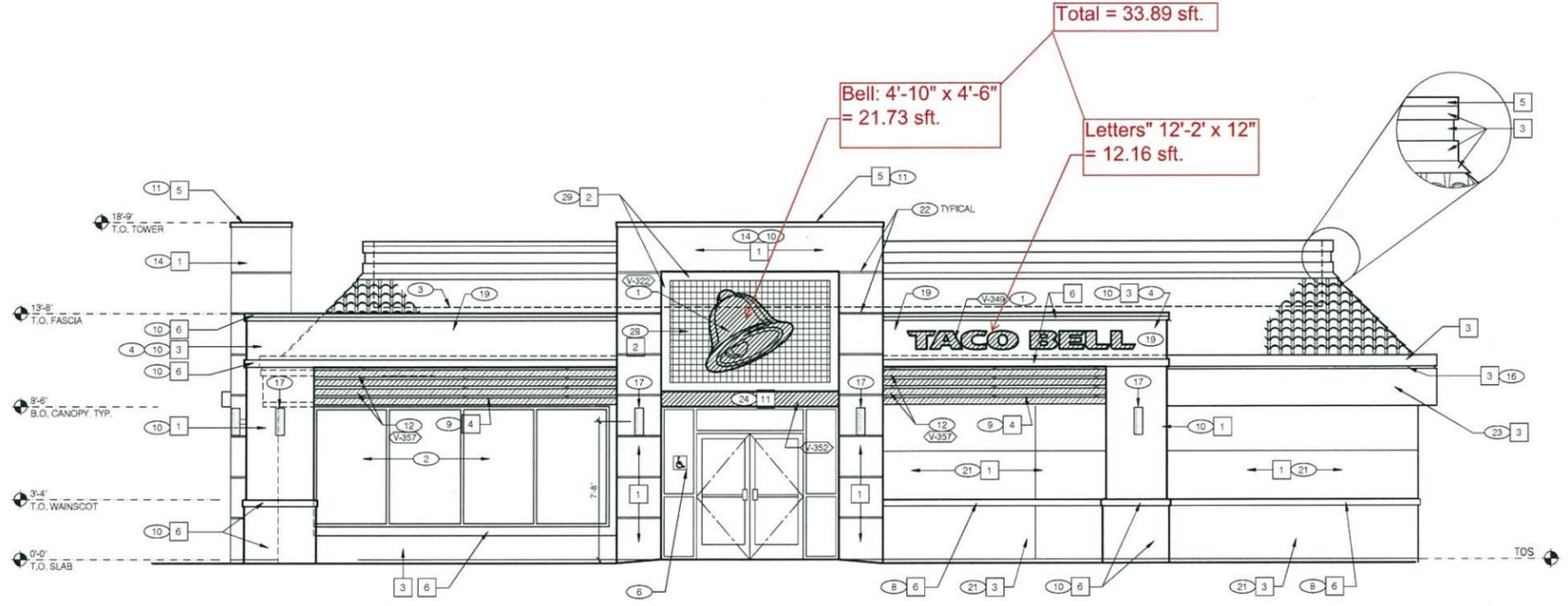
- NEC approval required.
 - 12V, Class II UL approved system.
 - 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
 - Thermally managed surface mount devices (SMD).
- LED(s): (77) AgiLight LS-CORE-65K-G2 White (6500K) LEDs (26 ft) or equivalent - pre-approval required
- Power Supply: (1) General LED PS12-60W-100-277V @ 0.8 amps or equivalent - Remotely Located
- Total Load: 0.8 amps
- Circuits(s): (1) 20 amp-120V

GRAPHIC & COLOR SPECIFICATIONS:

- 1 TB Bronze Tiger Drylac 49-66230 C33
- 2 Plum PMS 2685U
- 3 Amber Wave SW-6657 PMS 138U
- 4 PMS 131U
- 5 PMS 139U
- 6 Yellow PMS 108U
- 7 Pantone Process Magenta U
- 8 Pantone Violet U
- 9 Pantone Black
- 10 Benjamin Moore Bavarian Creme White #2146-70
- 11 Violet 3M Vinyl 3630-9126
- 12 White Matte - Cabinet Interior

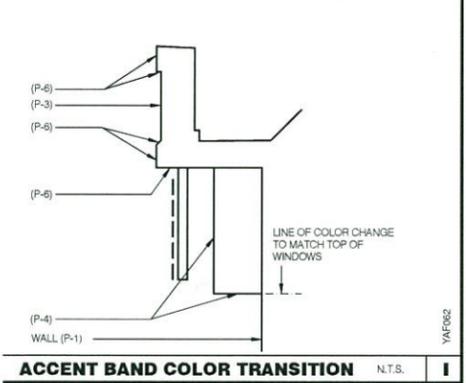
NOT FOR CONSTRUCTION
DECEMBER 2012



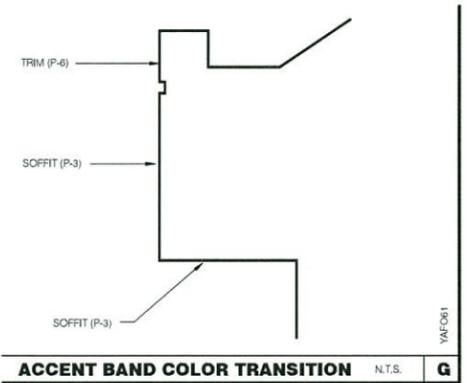


RIGHT SIDE ELEVATION 1/4" = 1'-0" **A**

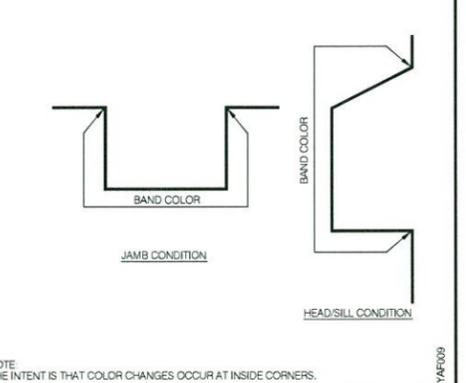
REMOVED DOCUMENTS ARE PROVIDED AS A CONSTRUCTION DOCUMENT TEMPLATE FOR THIS BUILDING TYPE. THESE DRAWINGS ARE REVIEWED AND ADAPTED BY A LICENSED ARCHITECT AND DO NOT NECESSARILY MEET ALL STATE AND LOCAL JURISDICTIONAL REQUIREMENTS FOR SPECIFIC PROJECTS. MODIFICATIONS THAT CHANGE SCOPE, MATERIALS OR KITCHEN OPERATIONS MUST BE APPROVED BY THE ARCHITECT. REGIONAL ARCHITECTURAL PARTNER (RMAP) IS THE LEAD ARCHITECT FOR THIS PROJECT.



ACCENT BAND COLOR TRANSITION N.T.S. **I**



ACCENT BAND COLOR TRANSITION N.T.S. **G**



ACCENT BAND COLOR TRANSITION N.T.S. **E**

GENERAL NOTES **F**

MISCELLANEOUS
 A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 B. PROVIDE BLOCKING FOR SIGNAGE, TRELIS AND CANOPY.
 C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

▨ DENOTES ITEMS SUPPLIED AND INSTALLED BY SIGN VENDOR
 □ DENOTES EXTERIOR FINISH.

○ DENOTES SIGN/AWNING/CANOPY ITEMS - VENDOR SUPPLIED AND INSTALLED. SEE THE SCOPE OF WORK SHEETS.

2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY.

QTY	ITEM DESCRIPTION	ELEC
V-322 2	TACO BELL BELL SIGN 4'-10 1/2" W x 4'-6 1/4" H WITH WHITE BACK AND 5-1/2" STAND-OFFS	X
V-349 2	TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X

SIGN SCHEDULE		N.T.S.	D
V-308 1	TB DT CANOPY 14'-6" W/18" LETTERS		X
V-351 1	TACO BELL NEW IMAGE ENTRY EYEBROW 10'-0"		
V-352 1	TACO BELL NEW IMAGE ENTRY EYEBROW 10'-0"		
V-353 1	TACO BELL NEW IMAGE REMODEL SLAT WALL SEGMENT 9'-0"		X
V-357 1	TACO BELL NEW IMAGE REMODEL SLAT WALL SEGMENT 12'-6"		X

* FLYING ARCH SHALL HAVE PIVOTING MOUNTING FLANGES
 NOTE: ADDITIONAL INFORMATION IS AVAILABLE ON THE PLANS.YUM.COM WEBSITE. SEE SIGNAGE AND AWNING INFO.

APPURTENANCES SCHEDULE		N.T.S.	D1
1	NEW BUILDING SIGN - UNDER SEPARATE PERMIT. SEE SCOPE OF WORK.		
2	EXISTING STOREFRONT TO REMAIN		
3	INDICATES ROOF BEYOND.		
4	FOR SOFFIT PAINTING DIRECTIONS. SEE 1/A4.0		
5	GAS METER. DO NOT PAINT METER.		
6	PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT 60" A.F.F.		
7	CONTINUE PAINT COLOR INDICATED AT BOTTOM OF FASCIA TO SOFFIT.		
8	HORIZONTAL TRIM BAND. SEE G/A5.1 & E/A4.0. BAND PAINT COLOR SHALL BE APPLIED TO TOP, BOTTOM AND FACE OF BAND.		
9	IF LIGHT BOXES OCCUR, REMOVE AND CONSTRUCT NEW SOFFIT PER DETAIL 1/A6.1 PROVIDE 6" CLEARANCE BETWEEN SLATS AND FACE OF SOFFIT.		
10	E.I.F.S. (TYP.)		
11	METAL COPING.		
12	FABRICATED ALUMINUM SLATS BY VENDOR WITH LED LIGHTING		11
13	NEW CANOPY. VERIFY SUPPORT AND BACKING REQUIREMENTS. SEE SCOPE OF WORK AND A/A5.0.		
14	MODIFY EXISTING TOWER. SEE SHEET A5.0.		
15	EXISTING CRICKET. REPAIR ROOFING AS NEEDED		
16	REMOVE INTERNALLY ILLUMINATED SOFFIT. AND REFER TO DETAIL 1/A6.1 FOR FRAMED SOFFIT.		

E.I.F.S. THICKNESS N.T.S. **B**

A. BASE THICKNESS - 1" THICK STUCCO/E.I.F.S. W/ HIGH IMPACT MESH TO HEIGHT OF 6'-0" A.F.F.
 B. HORIZONTAL TRIM BAND - 1 1/2" THICK STUCCO/E.I.F.S. WITH 5- 1/2" VERTICAL DIMENSION.
 C. EXPRESSION PANEL BANDS - 2" THICK STUCCO/E.I.F.S. x 6" WIDE.

ALL NEW STUCCO/E.I.F.S. TO HAVE A LIGHT SAND FINISH UNLESS IT MUST BLEND WITH AN EXISTING CONTRASTING FINISH.

E.I.F.S. SHALL MEET THE PERFORMANCE CHARACTERISTICS REQUIRED IN ASTM E 2568
 E.I.F.S. WITH DRAINAGE SHALL HAVE 90 PERCENT DRAINAGE EFFICIENCY WHEN TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM E 2273
 E.I.F.S. SHALL COMPLY WITH SECTION 1403 OF THE IBC
 WATER RESISTIVE BARRIER SHALL COMPLY WITH SECTION 1404.2 OF THE IBC AND ASTM E 2570
 INSTALLATION SHALL COMPLY WITH E.I.F.S. MANUFACTURERS INSTRUCTIONS AND THE PROVISIONS OF SECTIONS 1704.1 AND 1704.14 OF THE IBC.

E.I.F.S. NOTES		N.T.S.	B1
17	WALL LIGHTING. CENTER ON TOWER LEG. SEE MOUNTING HEIGHT ON SHEET E4.0.		
18	EXISTING SWITCHGEAR CABINET. PAINT.		
19	NEW BEAM. SEE E & G/A5.1.		
20	PAINT ALL ROOF FLOOD LIGHTS COLOR BRONZE		
21	PATCH AND REPAIR EXISTING E.I.F.S..		
22	1" U GROOVE AT TOWER		
23	FRAMED SOFFIT. SEE DETAIL 1/A6.1. IF NOT EXISTING.		
24	10" x 12" DEEP BREAK METAL TRIM BY SIGN VENDOR		
25	REAR TOWER, WHERE OCCURS.		
26	EXISTING SIGN, WHERE OCCURS.		
27	NEW STOREFRONT AND GLAZING		
28	CONTINUE E.I.F.S. BEHIND ALUMINUM PANEL.		
29	1X6 TRIM ANGLE		
30	1X4 TRIM ANGLE		

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	COLOR
1	MAIN WALL COLOR	SHERWIN WILLIAMS	CAMELBACK SW6122	STO LOTUSAN	NA08-0011
2	ALUMINUM PANEL	STOUT SIGNS	ALUMINUM PANEL WITH EMBOSSED 4X4 PATTERN MFR: STOUT SIGNS CONTACT: JIM GUNDERSON (314) 385-4600		PURPLE
3	ACCENT WALL COLOR	SHERWIN WILLIAMS	ROCKWOOD CLAY SW2823	STO LOTUSAN	NA08-0010
4	ACCENT COLOR	SHERWIN WILLIAMS	CLEMETAS SW6831		
5	CONTINUOUS PARAPET CAP	SHERWIN WILLIAMS	IRON ORE SW7069		
6	ACCENT WALL COLOR	SHERWIN WILLIAMS	UMBER SW6146		
7	PIPE BOLLARDS	SHERWIN WILLIAMS	DOT YELLOW		
11	HANDRAILS & TRANSFORMER HOUSINGS (WHERE OCCURS)	SHERWIN WILLIAMS	STATUS BRONZE SW7034		

EXTERIOR FINISH SCHEDULE **H**

KEY NOTES **C**

CONTRACT DATE: XXXX/XX/XX
 BUILDING TYPE: NEW IMAGE M70H
 PLAN VERSION: September 2012a
 SITE NUMBER: XXX-XXXX
 STORE NUMBER: XXXXX

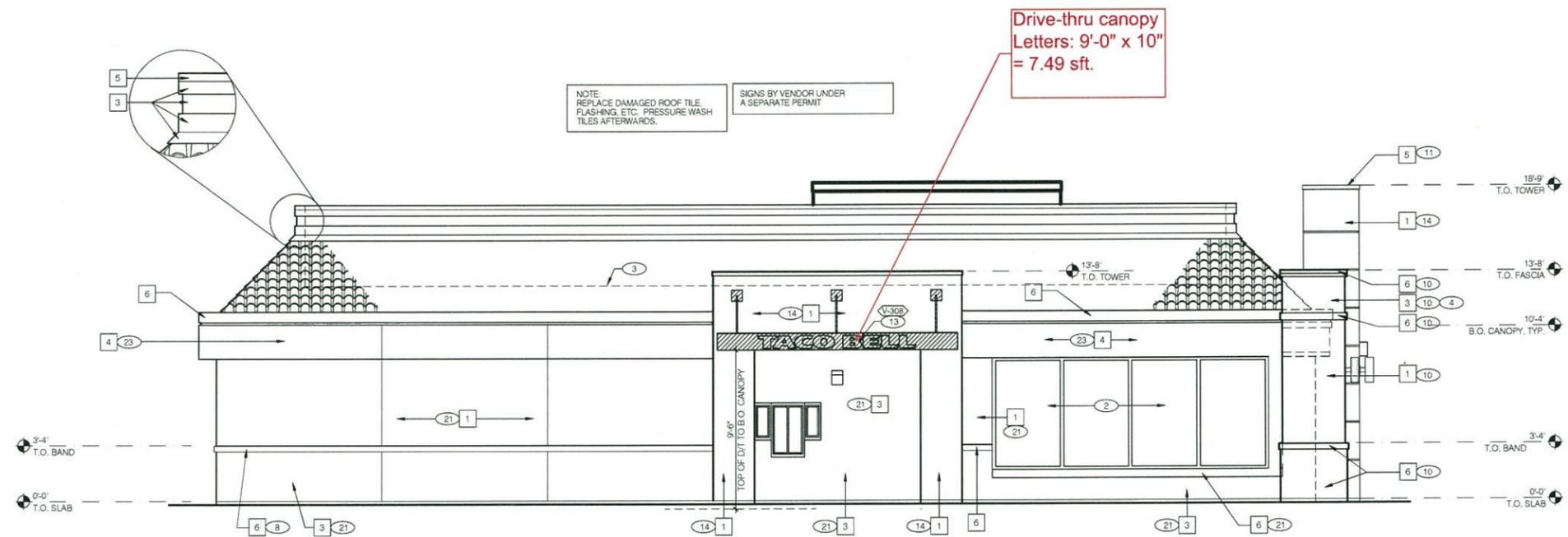
TACO BELL
 926 N.MAIN STREET
 BISHOP, CA 95314

NEW IMAGE
 M70H

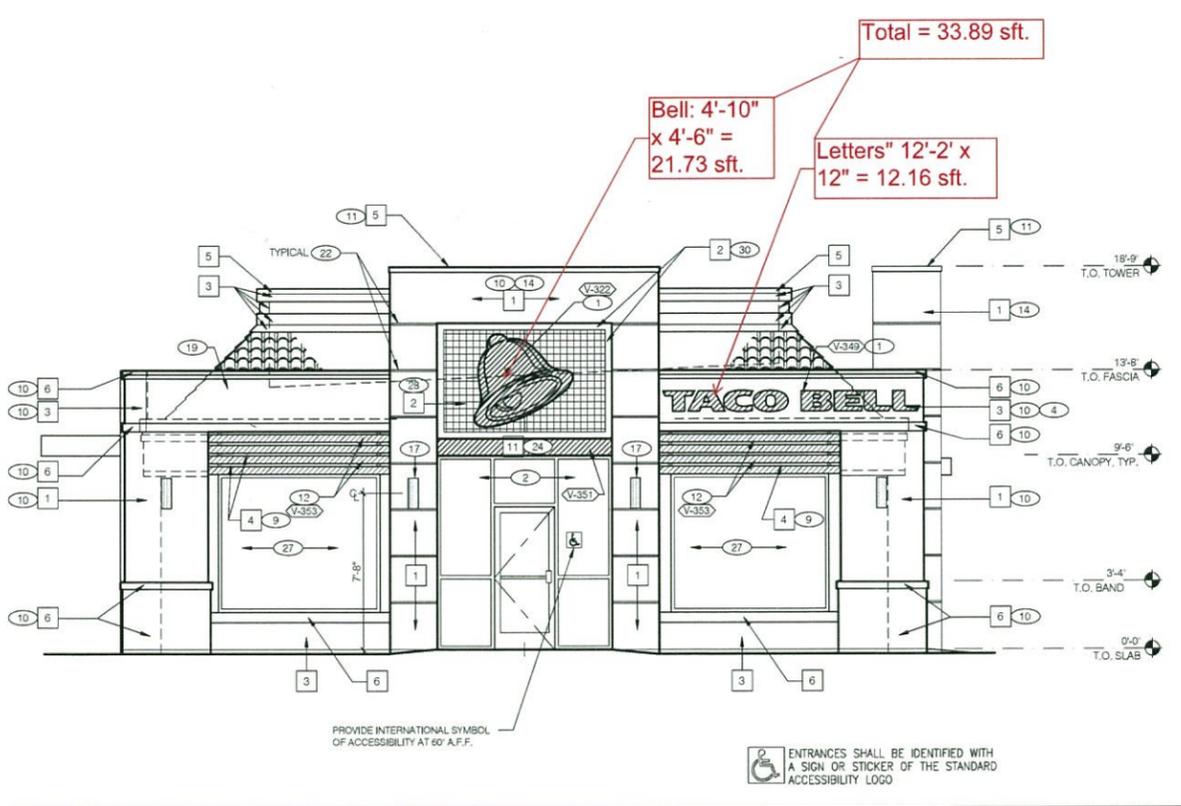
EXTERIOR ELEVATIONS

A4.0

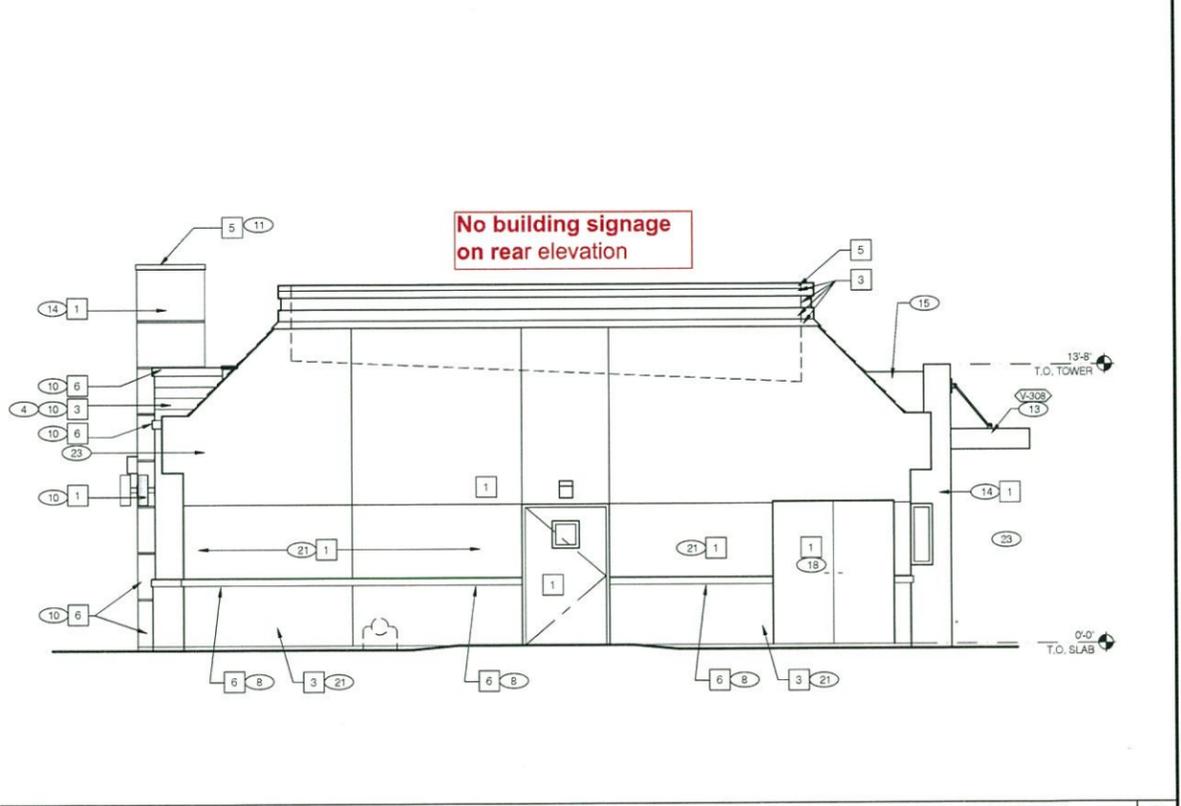
PLOT DATE: 5-29-13



LEFT SIDE ELEVATION 1/4" = 1'-0" A



FRONT ELEVATION 1/4" = 1'-0" C



REAR ELEVATION 1/4" = 1'-0" B

REVISIONS ARE PROVIDED AS A CONSTRUCTION DOCUMENT TEMPLATE FOR THIS BUILDING TYPE. THESE DRAWINGS SHALL BE REVIEWED AND ADAPTED BY A LICENSED ARCHITECT AND SHALL MEET ALL STATE AND LOCAL JURISDICTIONAL REQUIREMENTS FOR ALL SPECIFIC PROJECTS. MODIFICATIONS THAT CHANGE THE SCOPE OF WORKS OR KITCHEN OPERATIONS MUST BE APPROVED BY THE ARCHITECT. REGIONAL ARCHITECTURAL PARTNER (R.A.P.) INC.



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CONTRACT DATE: XX.XX.XX
 BUILDING TYPE: NEW IMAGE M70H
 PLAN VERSION: September 2012a
 SITE NUMBER: XXX-XXX
 STORE NUMBER: XXXXX

TACO BELL
 926 N MAIN STREET
 BISHOP, CA 95314



EXTERIOR ELEVATIONS

A4.1

PLOT DATE: 5-29-13