



CITY OF BISHOP

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Proposed Mitigated Negative Declaration of Environmental Impact

Date: 12 December 2007

Project Title: Road Improvement Project A

Project Applicant: City of Bishop Department of Public Works

Project Contact Person: Dave Grah, Director of Public Works

Address: 377 West Line Street, Bishop, California 93514

Telephone: 760-873-8458

Website: www.ca-bishop.us

Project Location: In Bishop, County of Inyo, State of California on North Third Street from East Pine Street to East Elm Street and on Short Street from South Second Street to South Third Street.

Project Description: The proposed project will rehabilitate pavement, improve drainage, construct continuous curb, gutter, and sidewalk, improve intersections, repair, rehabilitate, and improve water and sewer service, remove and replace trees, acquire a sewer and drainage easement, construct new sewer and drainage pipes, pave a driveway, construct storm water quality enhancement features, and convert a portion of Short Street to one-way with diagonal parking on one side.

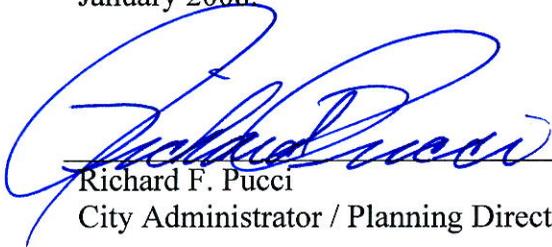
Proposed Finding: On the basis of the Initial Study for the project on file in the City of Bishop Department of Public Works office, the proposed project could have a significant effect on the environment, however there will not be a significant effect with the implementation of the mitigation measures described below and described in more detail in the Initial Study.

Mitigation Measures:

1. **Aesthetics:** There is a potential impact to aesthetics through the removal of about 20 trees over 6 inches in diameter. This potential impact will be mitigated by providing 3 trees for every one removed tree. In addition "bulb outs" will be constructed that increase the planter space up to 13 feet to allow space for larger replacement trees.

2. Noise: There is a potential impact to noise during the construction of the project. This potential impact will be mitigated by limiting construction operations to during the day between 7 am and 7 pm.
3. Transportation and Traffic: There is a potential impact to transportation and traffic through the elimination of illegal perpendicular parking on Short Street. This potential impact will be mitigated by converting Short Street to one way with angled parking on one side.

Comment Period: The review period for this Proposed Mitigated Negative Declaration ends 6 January 2008.


Richard F. Pucci
City Administrator / Planning Director

12-12-07
Date



Initial Study
Road Improvement Project A
City of Bishop
Inyo County, California



North Third Street



Short Street

Lead Agency:

City of Bishop
Department of Public Works
377 West Line Street
Bishop, CA 93514
760-873-8458

12 December 2007

SECTION 1 INTRODUCTION

1.1 PURPOSE

The purpose of the project is to address issues with pavement, with drainage, with pedestrian, disabled, and bicycle circulation, with parking patterns, and with water and sewer service in Bishop on North Third Street from East Pine Street to East Elm Street and on Short Street from South Second Street to South Third Street.

The street pavement is deteriorated due to reaching the end of its useful life, exacerbated by poor surface drainage in some locations. Runoff from precipitation, irrigation, and other sources ponds on the roadway for extended periods of time. Water in the ponds freezes during the winter. There is little curb, gutter, and sidewalk. In areas without curb, parking habits are often inappropriate. What sidewalk exists is not continuous nor does it comply with accessibility standards. Parking, drainage, and pavement conditions present mobility problems for bicycles. Water and sewer systems are deteriorated and can leak and overflow.

1.2 PROJECT LOCATION

The project area is in Bishop on North Third Street from East Pine Street to East Elm Street and on Short Street from South Second Street to South Third Street. Improvement of the intersections with intersecting streets may be included.

The new sewer line will extend from North Third Street east across a new easement on private property to an existing sewer line on property owned by the City of Los Angeles Department of Water and Power (DWP) and leased by the City of Bishop as a part of the Bishop City Park. This part of the park lease is not developed. The construction of the new drainage line will parallel the new sewer line and extend into the park lease up to 300 feet so that free drainage can be achieved. The surface of the easement will be paved to about 2/3 the depth of the property to serve as a driveway for that property.

The section of North Third Street is in the Southwest ¼ of the Southeast ¼ of Section 6 Township 7 South Range 33 East Mount Diablo Baseline and Meridian. The section of Short Street is in the Northeast ¼ of the Northeast ¼ of Section 7 Township 7 South Range 33 East Mount Diablo Baseline and Meridian.

See attached Road Improvement Project A map for location of project.

1.3 PROJECT DESCRIPTION

The proposed project will rehabilitate pavement, improve drainage (may change grade of street), construct continuous curb, gutter, and sidewalk, improve intersections, repair, rehabilitate, and improve water and sewer service, and complete associated work. The associated work is anticipated to include tree removal (as required for curb, gutter, and sidewalk) and replacement, acquisition of a sewer and drainage easement across private property, construction of new sewer and drainage pipes across this easement, paving a portion of the easement as a driveway, construction of storm water quality enhancement features, and possible conversion of the section of Short Street affected by this project to one-way with diagonal parking on one side. Some relocation of overhead utilities is expected. Work required to match grades behind sidewalks and on driveways may include work off the street right of way. The relocation of some private underground utilities is possible. Private encroachments on the right of way that conflict with construction will be removed. In areas where there are no existing driveways or no existing curb and where vehicles access the street and cross pedestrian paths in an uncontrolled manner, driveway access will be defined.

Construction is expected to include removal and replacement of street pavement section, removal and replacement of curb with curb and gutter, construction of continuous sidewalks with ramps at intersections, water and sewer line replacement or improvement, and construction of sewer and drainage line.

The proposed project is shown on the attached reduced Concept Layout and City of Bishop Residential Street Section.

1.4 PROJECT PROPONENT

City of Bishop

Department of Public Works
377 West Line Street
Bishop, California 93514
760-873-8458

Contact: David Grah, Director of Public Works

1.5 INTENDED USES OF THIS DOCUMENT

The City of Bishop will use this Environmental Initial Study to identify any potential environmental constraints associated with the project and to solicit input regarding the project from agencies and the general public. This Environmental Initial Study will also be used in support of a Negative Declaration when considering the approval of the project.

1.6 ENVIRONMENTAL SETTING

The City of Bishop is located in Inyo County at the northern end of Owens Valley. The City covers an area of approximately 1.8 square miles and has a population of approximately 3,575 (United States Census 2000). The population is expected to remain relatively steady because it is largely prevented from growth because the City is surrounded by a combination of public and Native American lands. The City of Bishop was incorporated in 1903 and the residential neighborhoods where this project is set were developed in the early decades of the 1900's with single and multiple family structures.

The Owens River, which is located east of the City of Bishop, flows to the south down the valley. The valley is bounded by the Sierra Nevada mountain range to the west and the White Mountains range to the east. Numerous creeks and ditches carry water from the Sierra Nevada Mountains toward the Owens River.

Bishop is located in the rain shadow of the Sierra Nevada. The warmest month of the year is July with an average maximum temperature of about 98 degrees Fahrenheit. The coldest month of the year is December with an average minimum temperature of 22 degrees Fahrenheit. Temperature variations between night and day are over 40 degrees during the summer and over 30 degrees during winter. The annual average precipitation at Bishop is 5 inches. The wettest month of the year is February with an average rainfall of 1 inch.

Over time, some curb and some sidewalk have been added to the streets affected by this project but much of the existing curb, gutter, and sidewalk discontinuous, in poor condition, and does not meet current accessibility standards. In numerous locations there are large trees in the portion of the street right of way intended for sidewalks. Some of these trees are several decades old and provide extensive summer shade. Many of the trees have roots that have damaged curb, pavement, sewers and other improvements and impede drainage.

The project is at an elevation of approximately 4,140 feet and both sites slope slightly to the east. This slight slope to the east helps drainage along east-west oriented Short Street but does not help drainage on north-south oriented North Third Street.

1.7 GENERAL PLAN DESIGNATION

Most of the proposed work is within city street right of way that is not zoned. North Third Street is surrounded by property zoned R-3 (Multiple Residential District) and R-2000 (Medium High Density Residential District). Short Street is surrounded by property zoned R-2000 (Medium High Density Residential District) and R-1 (Single-family Residential District). The Bishop City Park is zone P (Public District). North Third Street and Short Street in the project area are identified as local residential streets in the Bishop General Plan.

See attached City of Bishop Zoning map, Circulation Plan, and Circulation Standards for zoning and general plan information.

SECTION 2 ENVIRONMENTAL CHECKLIST

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
1. Aesthetics				
<i>Would the project:</i>				
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic building within a state scenic highway?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Agriculture Resources				
<i>In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland.</i>				
<i>Would the project:</i>				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Air Quality				
<i>Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.</i>				
<i>Would the project:</i>				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Biological Resources				
<i>Would the project:</i>				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
5. Cultural Resources				
<i>Would the project:</i>				
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Geology and Soils				
<i>Would the project:</i>				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
7. Hazards and Hazardous Materials <i>Would the project:</i>				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the likely release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located within one-quarter mile of a facility that might reasonably be anticipated to emit hazardous emissions or handle hazardous or acutely hazardous materials, substances or waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site of a current or former hazardous waste disposal site or solid waste disposal site unless wastes have been removed from the former disposal site; or 2) that could release a hazardous substance as identified by the State Department of Health Services in a current list adopted pursuant to Section 25356 for removal or remedial action pursuant to Chapter 6.8 of Division 20 of the Health and Safety Code?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be located on land that is, or can be made, sufficiently free of hazardous materials so as to be suitable for development and use as a school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
j) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Hydrology and Water Quality				
<i>Would the project:</i>				
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner, which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures, which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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9. Land Use and Planning				
<i>Would the project:</i>				
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural communities conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Mineral Resources				
<i>Would the project:</i>				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Noise				
<i>Would the project result in:</i>				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. Population and Housing				
<i>Would the project:</i>				
a) Induce substantial population growth in an area, either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Public Services				
<i>Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:</i>				
a) Fire Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Police Protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14. Recreation				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
15. Transportation/Traffic				
<i>Would the project:</i>				
a) Cause an increase in traffic, which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Result in inadequate parking capacity?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Utilities and Service Systems				
<i>Would the project:</i>				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Result in a determination by the wastewater treatment provider, which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Issues	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact
17. Mandatory Findings of Significance				
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Factors That Could Result in a Potentially Significant Impact

The environmental factors listed below are not checked because the proposed project would not result in a "potentially significant impact" as indicated by the preceding checklist and supported by substantial evidence provided in this document.

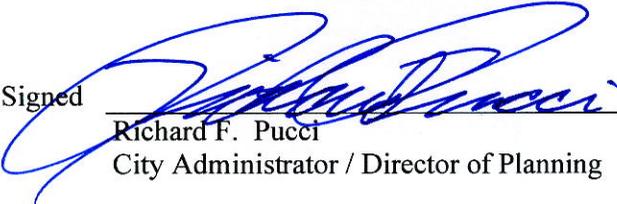
- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Land Use/Planning |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Utilities/Services Systems | <input type="checkbox"/> Mandatory Findings of Significance | |

Environmental Determination

On the basis of this initial evaluation:

- I find that the proposed project could not have a significant effect on the environment, and a **Negative Declaration** will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A **Mitigated Negative Declaration** will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an **Environmental Impact Report** is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measure based on the earlier analysis as described on attached sheets. An **Environmental Impact Report** is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier **EIR** or **Negative Declaration** pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier **EIR** or **Negative Declaration**, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signed


Richard F. Pucci

City Administrator / Director of Planning

Date 12-11-07

SECTION 3 DISCUSSION OF ENVIRONMENTAL EVALUATION

1. AESTHETICS

The project sites consist of established residential neighborhoods with older homes and apartment buildings. The landscaping of most properties is well established and includes large trees. Where not obscured by buildings or vegetation (such as trees), there are dramatic views of the surrounding mountains.

Trees planted over the years in the street right of way provide extensive shade in some areas. Unfortunately many of the same trees cause extensive damage to street and sewer improvements, occupy the only space available for sidewalk in the public right of way, and impede drainage. Few if any of the existing trees are of species on the City of Bishop list of acceptable street trees. Trees were selected for this list based on their beneficial qualities and their limited impacts on improvements. The list of acceptable trees is contained in the attached City of Bishop Standards for Landscaping Within the Public Rights of Way.



The construction of the proposed improvements will cause the removal of 9 trees of over 6 and up to 31 inches diameter at breast height on North Third Street and up to 8 additional trees near the intersection with East Elm. The construction of the proposed improvements will cause the removal of 3 trees of over 6 and up to 36 inches diameter at breast height on Short Street. In other words the project may require the removal of 20 trees over 6 inches in diameter at breast height. The trees to be removed are predominantly elm, ash, and pine.

The project proposes to replace the trees removed that are over 6 inches in diameter at breast height at a 3 to 1 ratio. For every tree removed, 3 trees would be planted along the street or provided to the neighborhood. At this ratio, if 20 trees are removed, 60 trees would be provided. Sixty trees is almost 2 trees per parcel along the streets involved. One of every 3 trees provided would be a larger tree of about 3 inches in diameter at breast height. The varieties of the replacement trees would be a selection of trees from the Bishop list of acceptable trees.

Sidewalk construction will conform to City of Bishop standards for residential streets and will include a 5 foot wide planter strip between the curb and the sidewalk. The planter strip width is measured from face of curb to front of sidewalk. Planter strips can be landscaped by the adjacent owners and this landscaping can include appropriate trees. In some areas, where practical and desirable to adjacent residents and property owners, "bulb outs" will be constructed that increase the planter space to up to 13 feet. These bulb out locations could provide adequate space for planting larger replacement trees.

Almost all project construction will be within the city right of way. The project will not directly impact most adjacent properties and so will not directly impact the aesthetics of adjacent properties themselves. Paving of the new easement for the sewer and drainage pipes is not expected to adversely impact the aesthetics of this property or the neighborhood.

Most construction on the park property will be underground or consist of an earthen swale. After construction, the proposed improvements will be consistent with the current undeveloped condition of the park and can easily be modified to be consistent with future development of this part of the park if that becomes necessary.



View of Proposed Easement from Park Property

With mitigation measures, the impacts of this project to aesthetics will be less than significant.

2. AGRICULTURAL RESOURCES

Except for the easement and the part of the Bishop City Park affected by construction, the project site is developed city street right of way. The easement is part of a developed private property used for driveway, outdoor storage, and rough lawn. The park property is undeveloped but is mowed annually to reduce fire danger. The site does not contain Prime Farmland and is not under a Williamson Act Contract to be preserved as farmland.

The proposed project will have no negative impact on agricultural resources.

3. AIR QUALITY

Air Quality within the City of Bishop and surrounding Inyo County is monitored and regulated by the Great Basin Unified Air Pollution Control District. Inyo County is listed as attainment (within allowable limits) for the following criteria pollutants: ozone; carbon monoxide; nitrogen dioxide; sulfur dioxide; sulfates; hydrogen sulfide; and vinyl chloride. Inyo County is listed as non-attainment for the state standard for PM-10 (particulate matter less than 10 microns in diameter) air emissions, which include chemical emissions and other inhalable particulate matter with an aerodynamic diameter of less than 10 microns.

The project is not expected to increase traffic-related emissions. Air quality impacts would be limited to the emissions from construction equipment involved in the construction of the proposed improvements. These impacts would last the approximately 2 to 4 months of construction. The short duration of the proposed work combined with existing regulations regarding motor vehicle fuels and emissions would result in potential air quality impacts being well below any state or federal significance criteria.

The project does not propose any use or construction technique that would result in odors that would be objectionable to the general public.

PM-10 emissions during construction would be controlled through the implementation of best management practices to limit PM-10 emission such as regular use of a water truck to keep potential dust producing surfaces damp.

In the short term, the removal of large trees will tend to decrease the amount of carbon dioxide absorbed and the amount of oxygen released by trees in the project area. This will be offset by a potential decrease in motor vehicle use due to the improvement of pedestrian and bicycle facilities in the area. As the 3 replacement trees planted for every 1 removed tree grow, the net decrease in carbon dioxide absorption and oxygen associated with the removal of large trees will diminish.

The proposed project will have no negative impact on air quality.

4. BIOLOGICAL RESOURCES

No critical habitat or special status species, sensitive species or species of concern have been identified within the proposed project area. Almost the entire project area, perhaps including the area proposed for construction within the Bishop City Park, is disturbed. Aside from the park, the project area is populated with exotic and horticultural species of plants. The vegetation in the park is mowed annually and is dominated by Salt Grass (*Distichlis spicata*). Other plant species in the park include showy milkweed (*Asclepias speciosa*), Russian thistle (*Salsola tragus*), yellow rabbit brush (*Chrysothamnus viscidiflorus*), and sunflower (*Helianthus petiolaris* ssp. *petiolaris*).

The trees in the project area are not native species and are not thought to be important habitat for raptors. No important or protected avian species are known to nest or forage on the project site.

The City of Bishop General Plan Area does not include habitat, natural community, or other conservation plans. No conflicts are expected to occur.

The proposed project will have no negative impact on biological resources.

5. CULTURAL RESOURCES

Most of the project site is developed public street right of way with no significant cultural features. There are no known or visible historic or prehistoric cultural resources on the portion of the project site on the undeveloped park property. If cultural resources are discovered during construction, construction activity will be immediately stopped and a qualified cultural specialist will be contacted.

The proposed project will have no negative impact on cultural resources.

6. GEOLOGY AND SOILS

Natural Resources Conservation Service (NRCS) soil survey for soils within the project area indicate the soils consist of Dehy loam and Dehy-Dehy calcareous complex, 0 to 2 percent slopes. These soils are not considered to be expansive and are suitable for the subgrade of roadways and for the construction of pipelines.

The Bishop Area is located in seismic Zone 4. The project area is not an Alquist-Priolo Special Studies Zone. No special measures are required to address potential seismic activity in the area during construction or during use of the constructed product.

The proposed project will have no negative impact on geology and soils.

7. HAZARDS AND HAZARDOUS MATERIALS

The construction of the project and use of the constructed features will not pose any significant hazard to the public or the environment. Construction of the project will involve the short-term use of hazardous materials such as diesel fuel and grease associated with the construction equipment but the hazards of these materials are not substantially different from the hazards presented by similar materials now on the existing streets and in the future when the proposed improvements are complete. Refueling and equipment maintenance would be done off-site or within a contained area so as to avoid soil contamination on the project site. No long-term use of hazardous materials is foreseeable as a result of the project.

If "bulb outs" are incorporated into the project, they should act to slow traffic and to reduce the number of trucks potentially carrying hazardous materials that will use the streets which will reduce hazards.

The proposed project will have no negative impact on hazards and hazardous materials.

8. HYDROLOGY AND WATER QUALITY

The project site is nearly level and the potential for erosion is low. In fact, ponding is the greatest water-related issue on the project. The proposed project will improve drainage and provide storm water treatment on North Third Street. Treated storm water will be released into a low area on the park property that appears to be the former bed of the South Fork of Bishop

Creek before it was diverted early in the 1900's by DWP. Drainage from as much of North Third Street as is possible will flow to the existing drainage system in East Pine Street. The construction of continuous curb and gutter on Short Street will take street-side drainage off the bare soils that exist in many areas thereby reducing erosion and related maintenance problems. Drainage on Short Street will remain on surface – no storm drain will be constructed.

During construction the construction contractor would employ Best Management Practices (BMPs) for the containment of construction related materials.

The proposed project will have no negative impact on hydrology and water quality.

9. LAND USE AND PLANNING

Most of the project site is owned by the City of Bishop. Most of the site owned by the City of Bishop is street right of way intended for streets, sidewalk, drainage, water, sewer, and other utilities. The construction of drainage facilities on the park property will not restrict current or future use of the park.

City street right of way is not zoned. North Third Street is surrounded by property zoned R-3 (Multiple Residential District) and R-2000 (Medium High Density Residential District). Short Street is surrounded by property zoned R-2000 (Medium High Density Residential District) and R-1 (Single-family Residential District). The proposed easement is zoned R-3. The Bishop City Park is zone P (Public District). North Third Street and Short Street in the project area are identified as local residential streets in the Bishop General Plan. All proposed improvements are consistent with existing and proposed land use in the area.

The proposed project will have no negative impact on land use and planning.

10. MINERAL RESOURCES

No mineral resources are known to exist on the project site. The proposed project will have no negative impact on mineral resources.

11. NOISE

The proposed project would result in temporary noise associated with construction activities. Construction would be limited to 7:00 a.m. – 7:00 p.m.

With mitigation measures, the impacts of this project to noise will be less than significant.

12. POPULATION AND HOUSING

There is no housing located on the project site and none is proposed. Most of the project site is public property intended for public uses other than housing. The proposed easement, although zone R-3, is only suitable for use as a driveway (and easement for sewer and drainage pipes) due to the surrounding development.

The proposed project would not require or encourage an increase in population or the construction of housing. It is anticipated the project will provide significant assets to the neighborhoods, the city and the community.

The proposed project will have no negative impact on population and housing.

13. PUBLIC SERVICES

The proposed project would contribute to the City of Bishop's domestic water public service demands and, except for disposal of materials removed during construction such as existing pavement, would not require any other public services. The construction of the sewer and drainage pipes in the easement will significantly aid public sewer and drainage in the area. Sewer overflows are unfortunately relatively common in the North Third Street area and poor drainage, ponding, and related problems are also significant problems there.

The proposed project will have no negative impact on public services.

14. RECREATION

Most of the project is city street right of way and so is not used for formal recreation. The addition of continuous disabled-accessible sidewalk as part of the project could be considered as a recreation enhancement to some. The private property affected by the proposed easement is not used for recreation and is not anticipated to be although it is adjacent to the Bishop City Park.

The part of the park affected by this project is not yet developed and so is not presently used for recreation. In addition, the construction of the proposed improvements would not affect development of this part of the park.

The proposed project will have a less than significant impact on recreation.

15. TRANSPORTATION AND TRAFFIC

The proposed project is intended to enhance the city's transportation system including pedestrian and bicycle travel. Construction of the project will increase traffic and related impacts during construction but will be of short duration.

In areas with substantial multiple family residential structures, some report a shortage of on-street parking. In some of these locations, especially where there is no existing curb, substantial inappropriate and illegal parking occurs. The inappropriate and illegal parking includes parking in sidewalk areas, double parking, and perpendicular parking. Also in multiple family areas, some off-street parking requires vehicles to back across extensive lengths of area intended for sidewalks. Short Street has a significant problem with perpendicular parking. North Third Street has a significant problem with vehicles parked off-street backing across sidewalk areas.

It is proposed to convert the section of Short Street affected by this project to one lane one way with angled parking on one side and parallel parking on the other. This configuration can maximize on-street parking while allowing conversion back to a standard residential street cross section if conditions change or operational problems are observed.

See page 3 of attached reduced Concept Layout for preliminary parking configuration on Short Street.

To the extent practical, defined and limited driveways will be created on North Third Street where vehicles now back across the sidewalk area.

With mitigation measures, the impacts of this project to transportation and traffic will be less than significant.

16. UTILITIES AND SERVICE SYSTEMS

The proposed project is intended to enhance water, sewer, and drainage facilities in the area. The relocation of some overhead and the potential relocation of some underground private utilities such as power, phone, and cable is anticipated.

The proposed project will have a less than significant impact on utilities and service systems.

17. MANDATORY FINDINGS OF SIGNIFICANCE

Project impacts would be mostly short-term and minor. The proposed project would not cause any potential impacts to the environment that could result in a mandatory finding of significance.

SECTION 4 ATTACHMENTS

Road Improvement Project A map

Reduced Concept Layouts

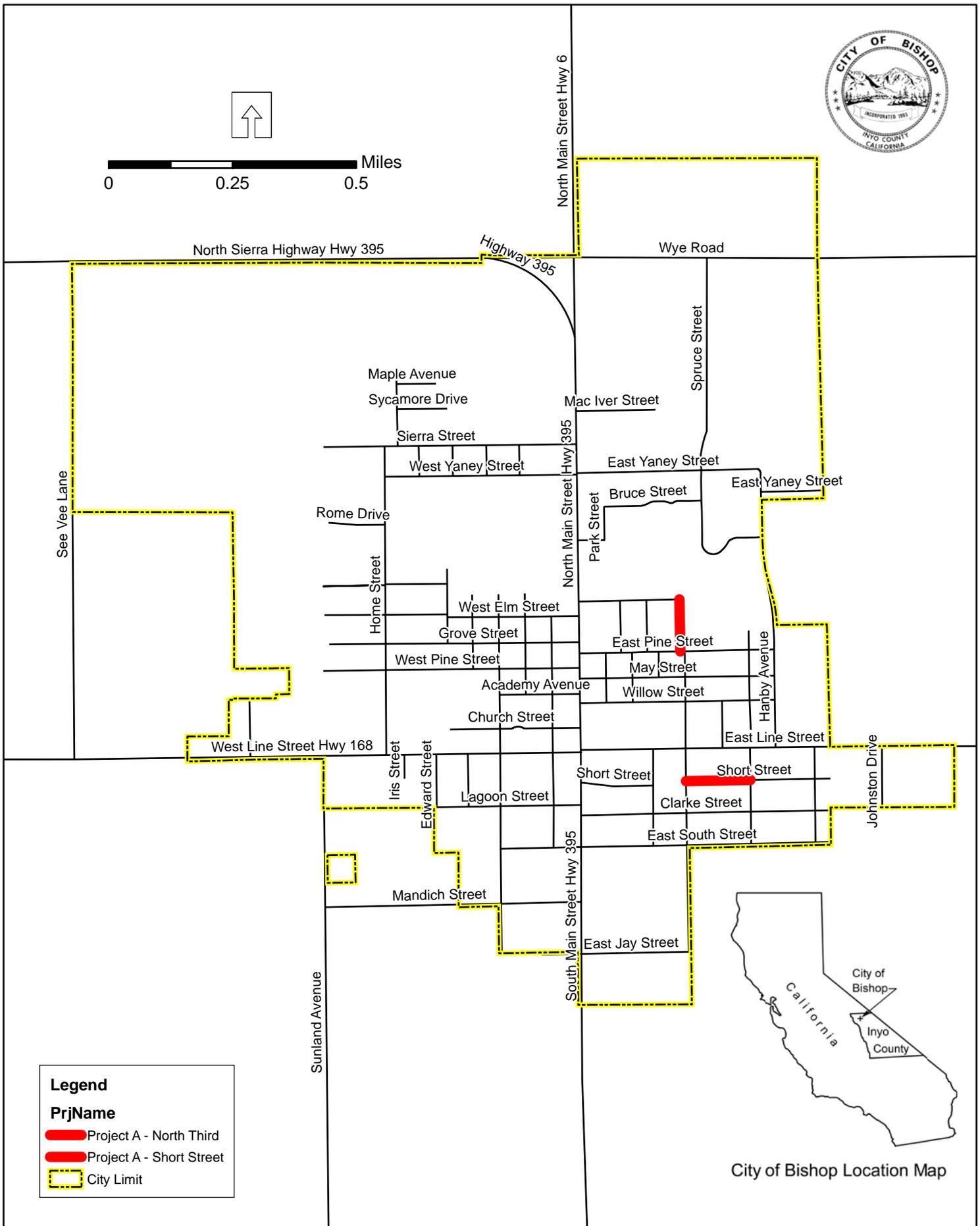
City of Bishop Residential Street Section

City of Bishop Zoning map

City of Bishop Circulation Plan

City of Bishop Circulation Standards

City of Bishop Standards for Landscaping Within the Public Rights of Way



Legend

PrjName

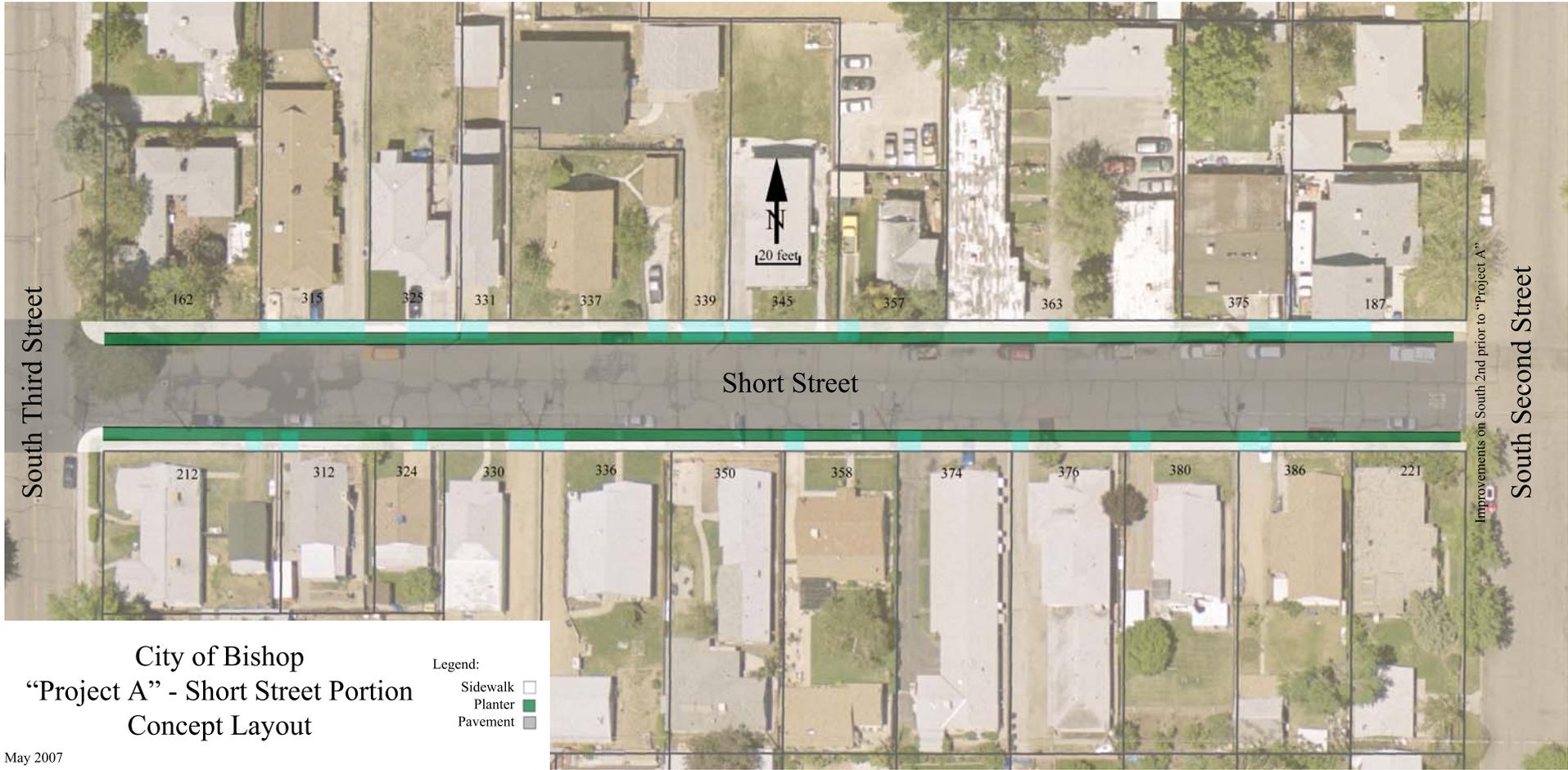
- Project A - North Third
- Project A - Short Street
- City Limit



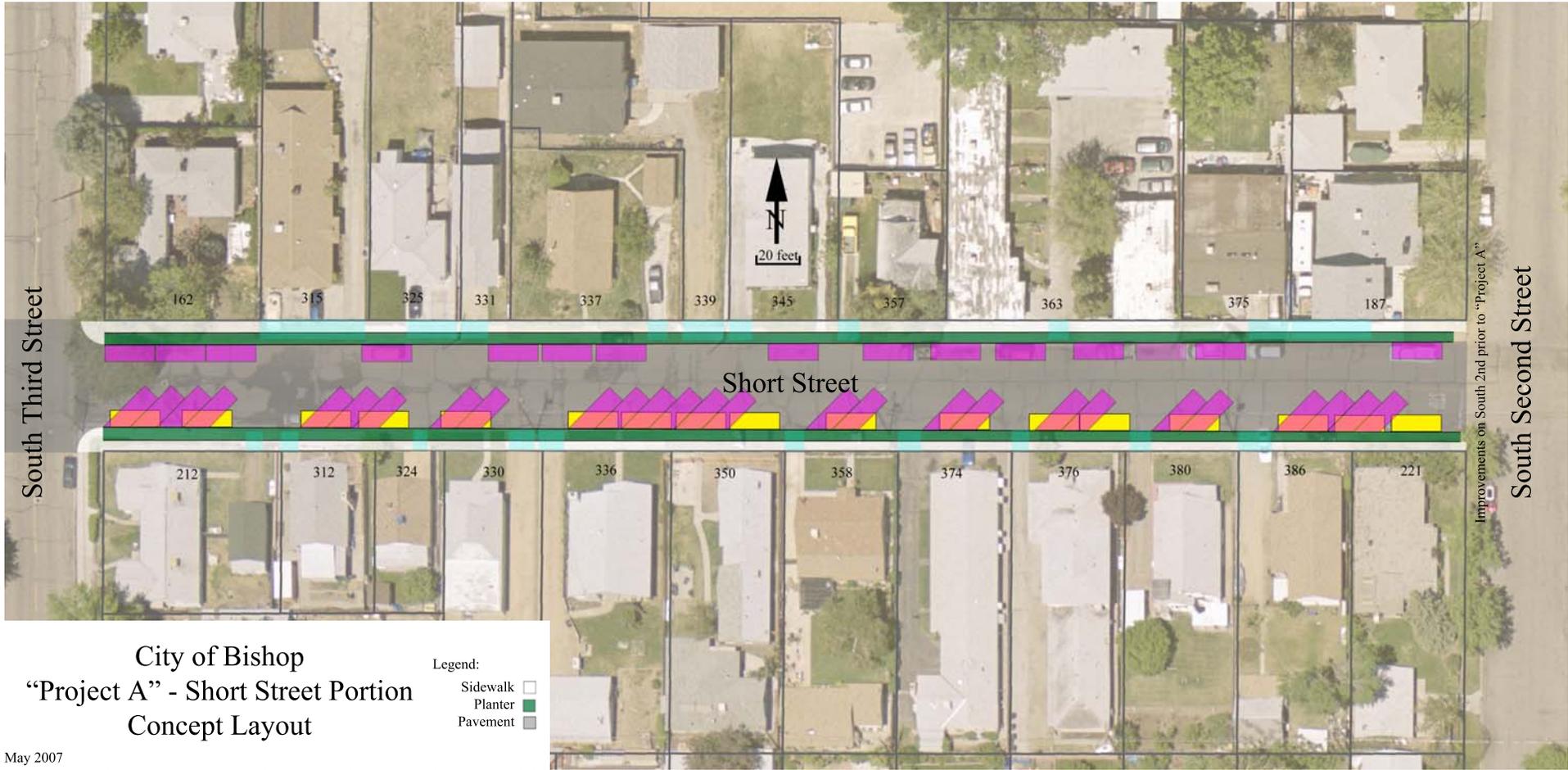
Road Improvement Project A

City of Bishop

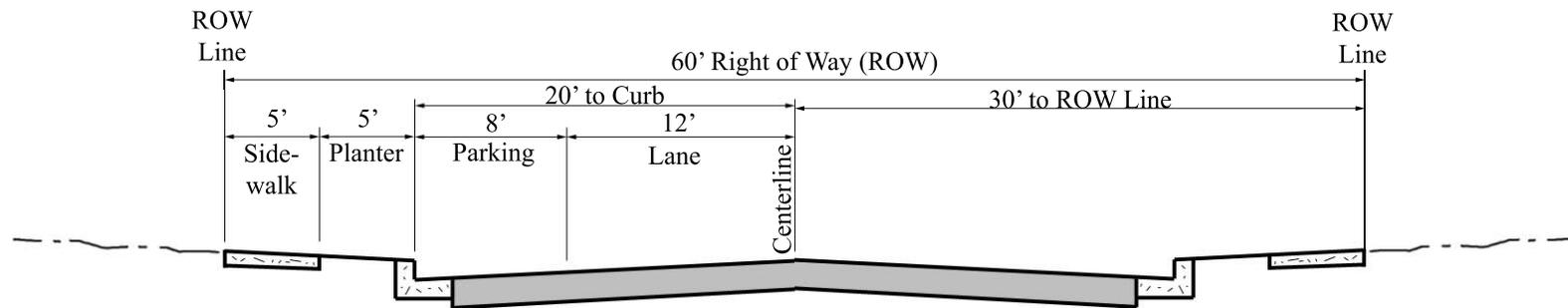




May 2007



May 2007



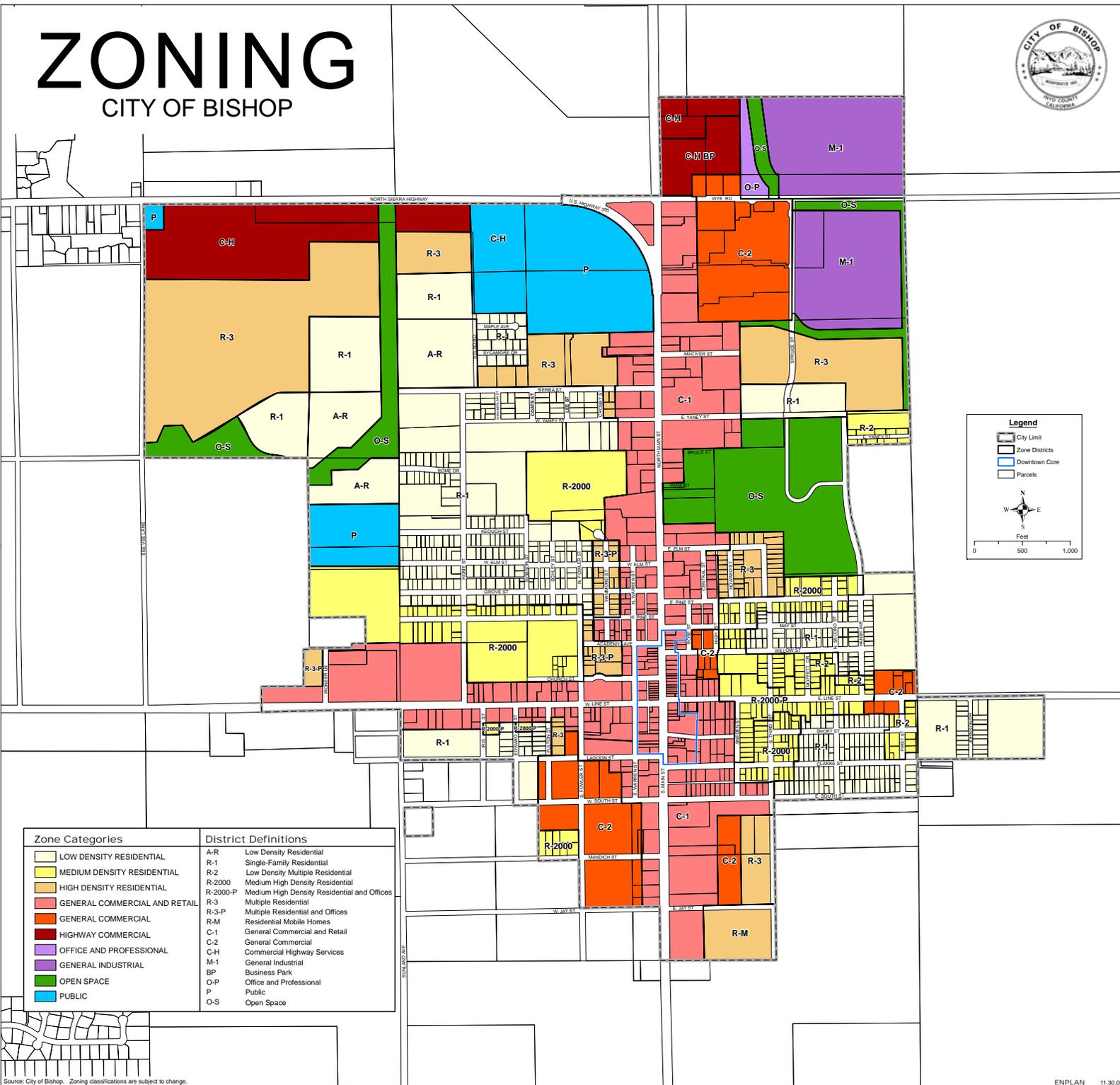
City of Bishop Residential Street Section

Notes:

- *Pavement is 4 inches asphalt concrete over 8 inches aggregate base
- *Curb and gutter is Caltrans A2-6 over 6 inches aggregate base
- *Sidewalk is 4 inches concrete over 4 inches aggregate base
- *Sidewalk and curb are poured monolithically
- *Driveways follow Caltrans standard plan A87A
- *Residential driveways are over 4 inches aggregate base
- *Commercial driveways are over 8 inches aggregate base
- *Pavement and sidewalk cross slopes are 2%

ZONING

CITY OF BISHOP



Zone Categories	District Definitions
LOW DENSITY RESIDENTIAL	A-R Low Density Residential
MEDIUM DENSITY RESIDENTIAL	R-1 Single-Family Residential
HIGH DENSITY RESIDENTIAL	R-2 Low Density Multiple Residential
GENERAL COMMERCIAL AND RETAIL	R-2000 Medium High Density Residential
GENERAL COMMERCIAL	R-2000-P Medium High Density Residential and Offices
HIGHWAY COMMERCIAL	R-3 Multiple Residential
OFFICE AND PROFESSIONAL	R-3-P Multiple Residential and Offices
GENERAL INDUSTRIAL	R-M Residential Mobile Homes
OPEN SPACE	C-1 General Commercial and Retail
PUBLIC	C-2 General Commercial
	C-H Commercial Highway Services
	M-1 General Industrial
	BP Business Park
	O-P Office and Professional
	P Public
	O-S Open Space

Legend

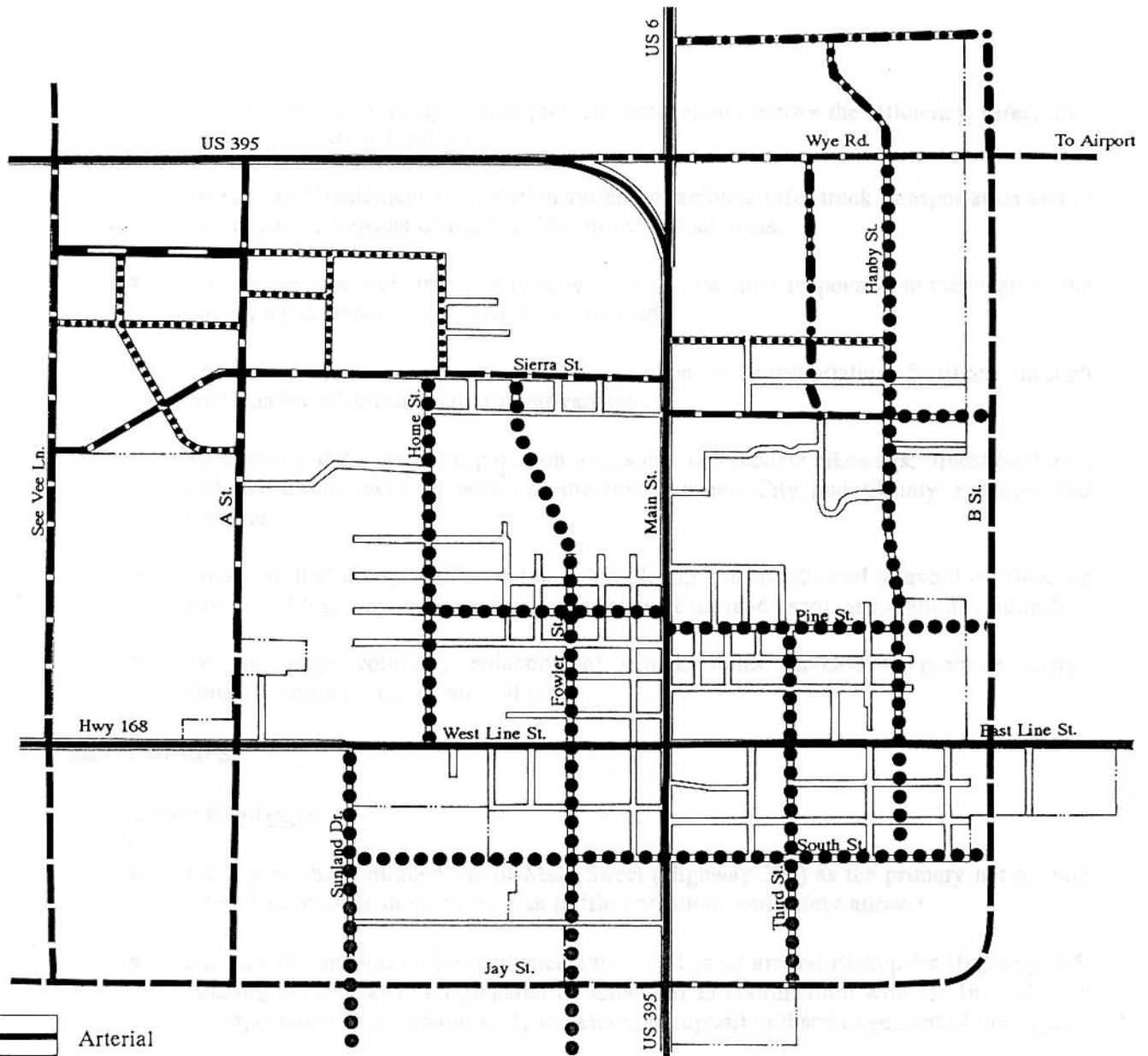
- City Limit
- Zone Districts
- Downtown Core
- Parcels

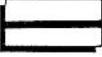
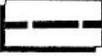
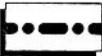
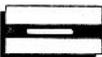
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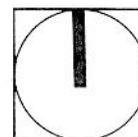
Source: City of Bishop. Zoning classifications are subject to change.

1" = 300'

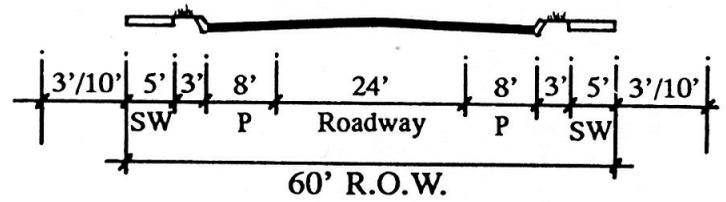


-  Arterial
-  Major Collector
-  Neighborhood Collector
-  Local Residential
-  Industrial Street
-  CB-Commercial Street

The City of Bishop General Plan

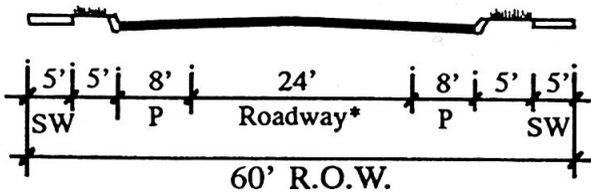


**THE
PLANNING
CENTER**
1300 DOVE STREET, SUITE 100
NEWPORT BEACH, CA 92660 (714) 851-9444



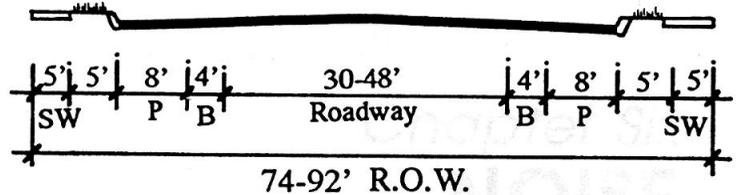
Additional Utilities Easements if Necessary

Local Residential Street



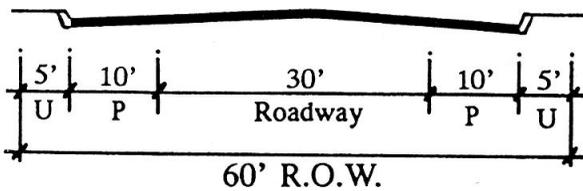
Residential Collector

* Add two 5' bikelanes for class II bikeway, bikeway lanes can be reduced to 4' when parking prohibited.

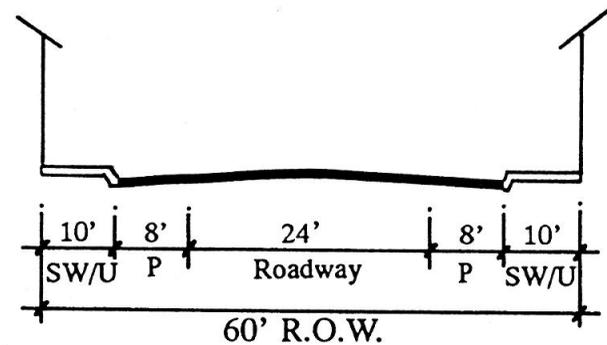


Major Collector

Note: Parkway-sidewalk areas can be reduced and/or eliminated in order to accommodate the overall roadway design standard when in a confined R.O.W. or for special circumstances.



Industrial/Heavy Commercial Street



CBD - Commercial Street

- U - Utilities
- P - Parking
- SW - Sidewalk
- B - Bikeway

CITY OF BISHOP

STANDARDS FOR LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY

1. The City of Bishop encourages landscaping public streets. These standards are intended to promote the organized development of healthy trees and landscaping within the public rights-of-way with minimal damage to curb, gutter, sidewalk, structures and utilities.

It is noted that in accordance with the Streets and Highway Code, property owners are responsible for all improvements between the property line and the curb line.

2. Root barrier shall be placed in locations shown on the standard drawings to a minimum depth of 18" below the surface. Root barrier shall be installed linear style or surround style as approved by the City. Mechanical root barrier shall be polystyrene plastic, or similar material, with added ultraviolet inhibitors, and a minimum wall thickness of 0.060". Chemical root barriers shall contain time-release chemicals that control root growth for a minimum of 12 years and shall be constructed to a minimum depth of 18" below the surface.. Chemical barriers shall be EPA registered and cleared for use in California; shall have an EPA toxicity classification of IV with an Oral LD 50 level greater than 5,000; and shall be on the list of barriers approved by the City of Bishop Department of Public Works. All barriers shall be installed in accordance with the manufacturers requirements and these standards.

3. Planter size shall be a minimum 4 ft square; or in a linear planter shall be a minimum 4 ft wide strip.

4. Planters shall be equipped with facilities for deep watering to establish deep root systems. Irrigation shall conform to City standards for water-efficient landscapes (Chapter 13.07 Bishop Municipal Code).

5. Tree well covers shall be used in areas zoned commercial unless waived in writing by the City. Covers shall be manufactured high density plastic or cast iron. Decorative brick may be used if approved by the City. In residential areas, tree well areas may be covered with dirt, gravel, bark, brick or commercial covers. Linear planting strips may use grass, potentilla or other landscaping approved by the City.



Approved By
City Administrator
Andrew Boyd
MAY 29, 1996
Date

TREE STANDARDS

Approved By
City Engineer
Andrew Boyd
FEB 22, 1996
Date

No.	Date	App.	Revision

Standard Detail No.
L-1
1 OF 5

6. Trees shall not be located within 15 ft of fire hydrants; 10 ft of curb returns, driveways or utility poles; or 5 ft of underground utility services.

7. All trees shall be staked until they are established and can stand alone. Stakes shall be located not to interfere with pedestrian or street traffic.

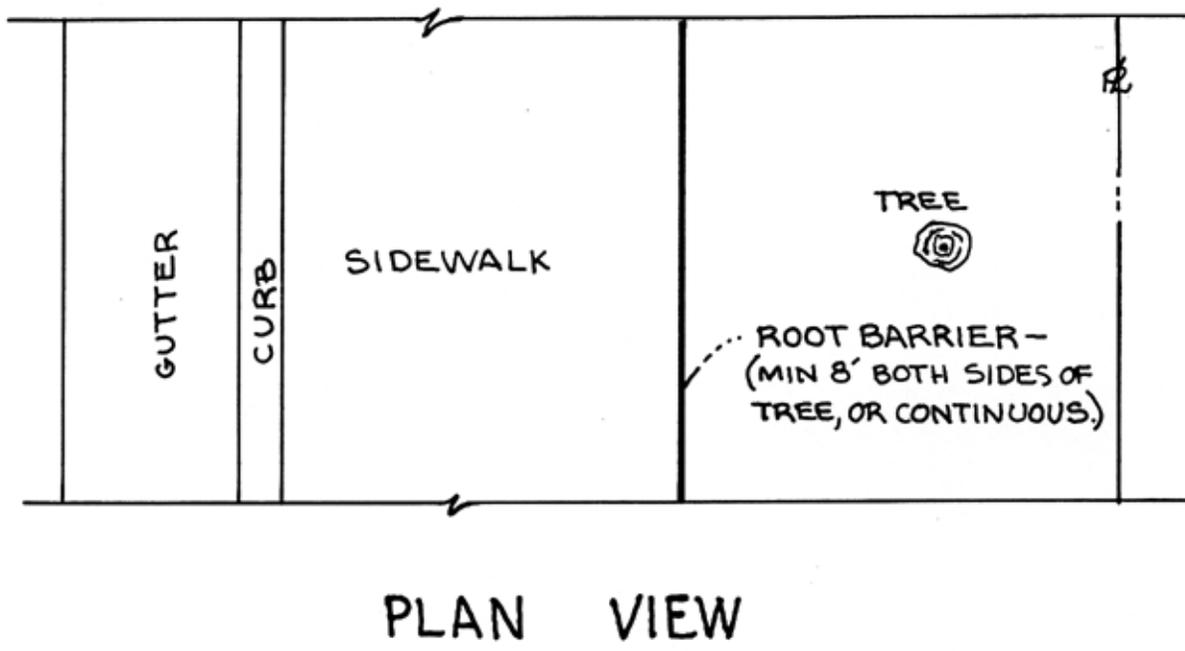
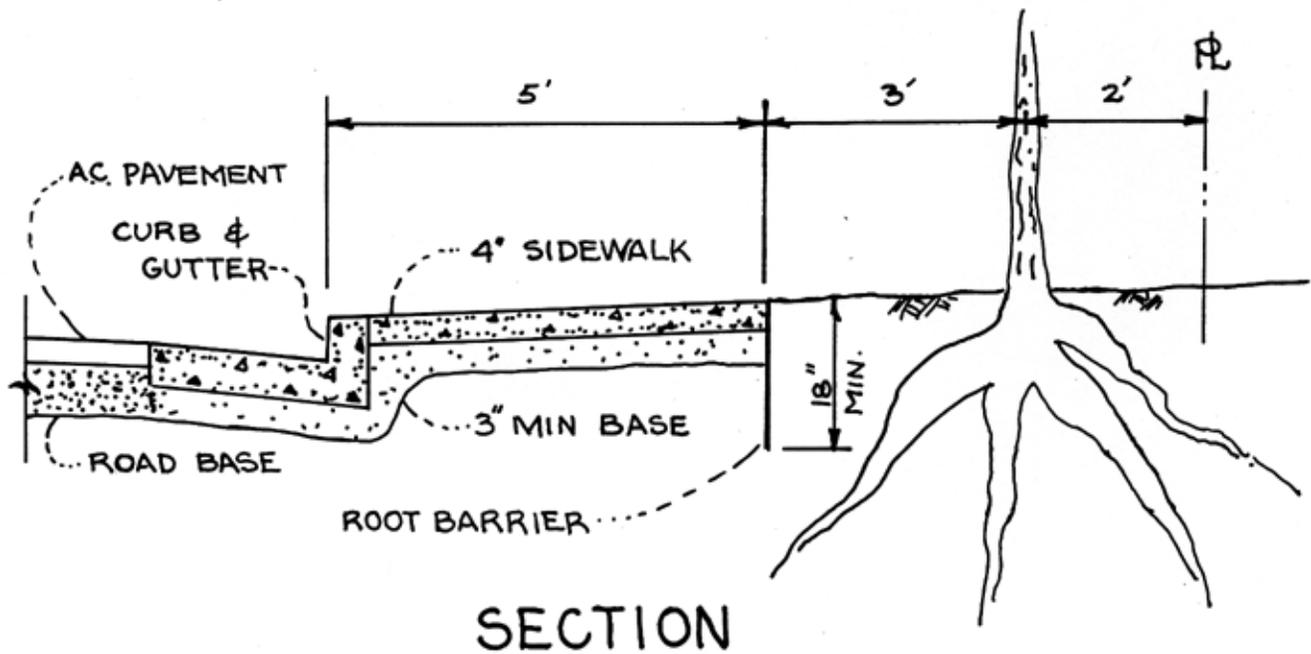
8. Trees that are acceptable for planting include:

- PYRUS calleryana "Bradford" (Flowering Pear)*
- PRUNUS serrulata kwanzan (Flowering Cherry)*
- PRUNUS cerasifera "Thundercloud" (Flowering Plum)
- PURNUS persica (Flowering Peach)
- ACER rubrum (Red Maple)*
- ARBUTUS unedo (Strawberry Tree)
- CERCIS canadensis (Eastern Redbud)
- ROBINIA ambigua "Idahoensis" (Idaho Locust)
- PISTACIA chinensis (Chinese Pistache)

* Not recommended for planting under power lines or telephone lines.

The above trees are suitable for street landscaping and will have minimal impact on public improvements and utilities if they are cared for properly. No other trees will be planted within the right-of-way unless approved in writing by the City.

	Approved By City Administrator <i>[Signature]</i> MAY 29, 1996 <small>Date</small>	TREE STANDARDS				
	Approved By City Engineer <i>[Signature]</i> FEB 22, 1996 <small>Date</small>					Standard Detail No. L - 2 2 OF 5
		<small>No.</small>	<small>Date</small>	<small>App.</small>	<small>Revision</small>	



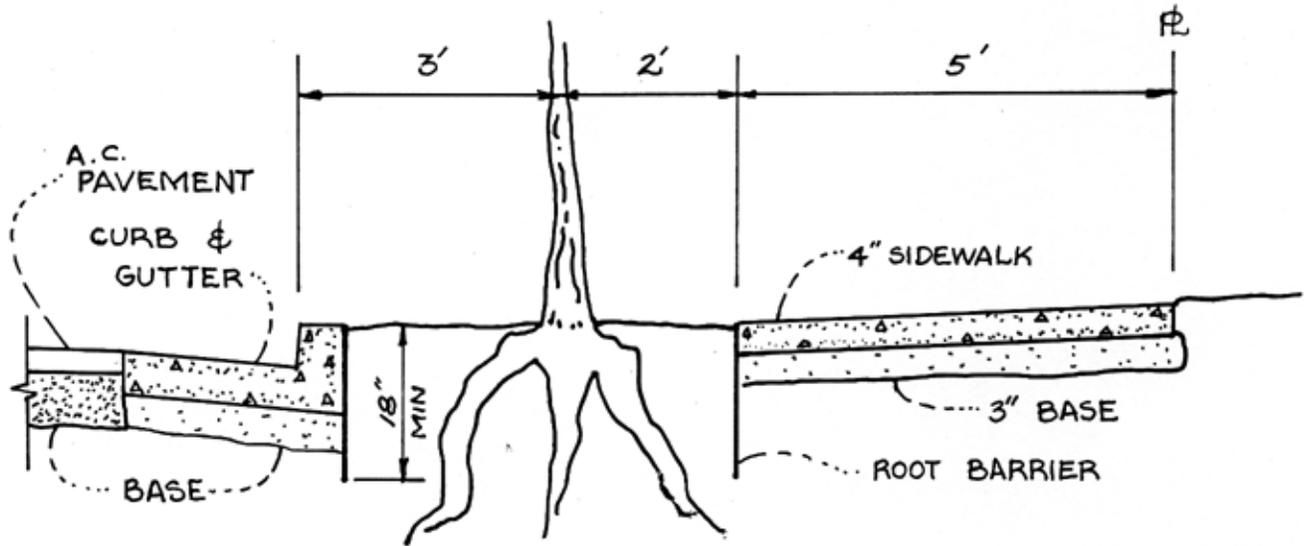
Approved By
City Administrator
Philad...
Date
MAY 29, 1996

Approved By
City Engineer
Andrew Boyd
Date
FEB 22, 1996

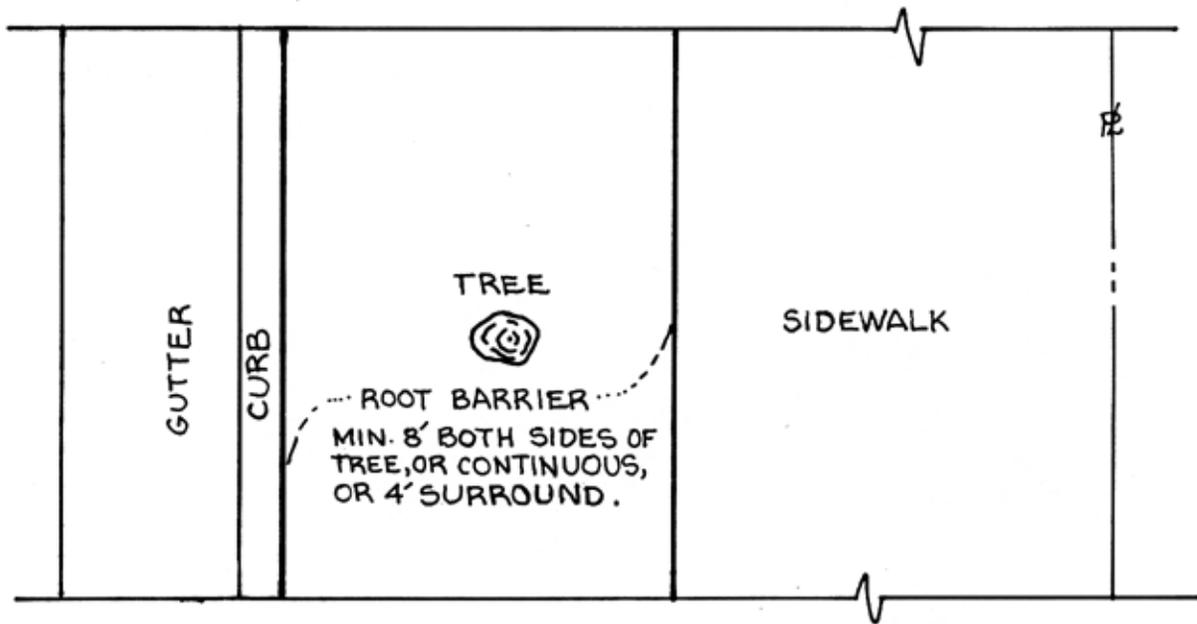
RESIDENTIAL TREE - TYPE 'A'

No.	Date	App.	Revision

Standard Detail No.
L-3
3 OF 5



SECTION



PLAN VIEW



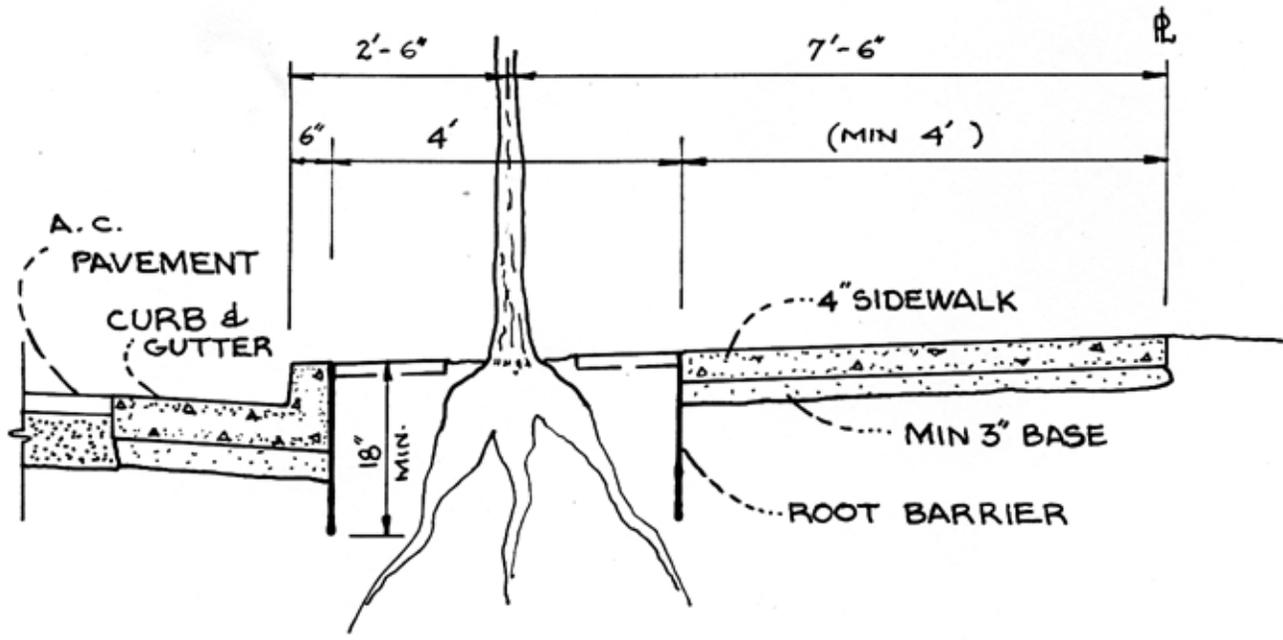
Approved By
City Administrator
Robert...
Date
MAY 29, 1996

Approved By
City Engineer
Andrew Boyd
Date
FEB 22, 1996

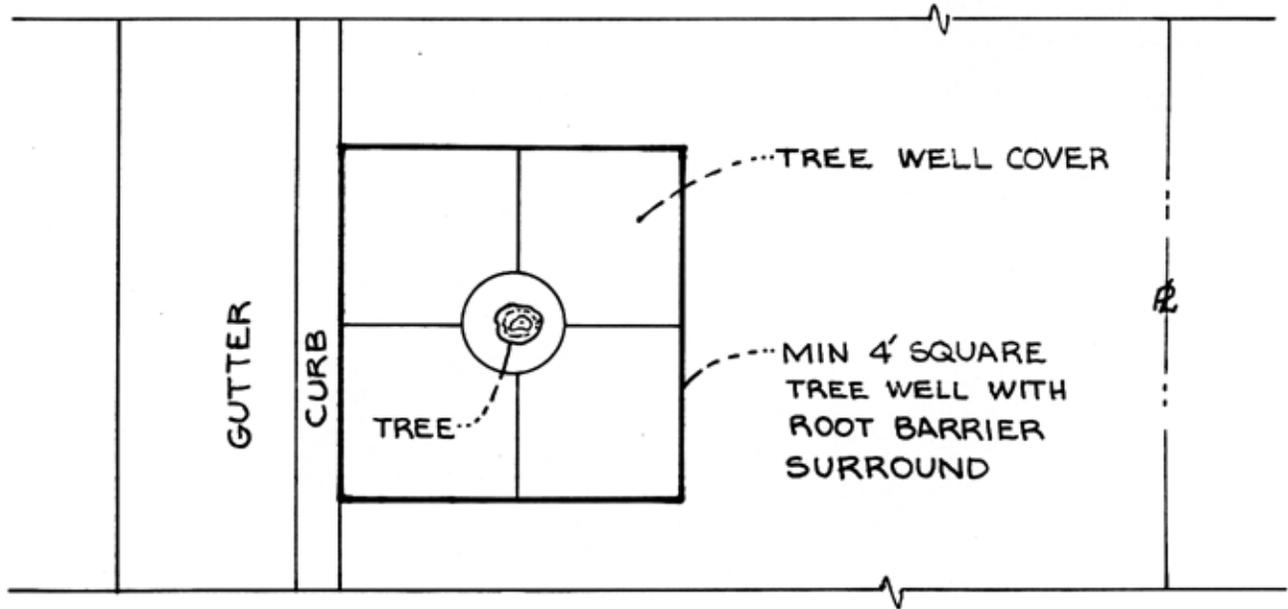
RESIDENTIAL TREE - TYPE 'B'

No.	Date	App.	Revision

Standard Detail No.
L-4
4 OF 5



SECTION



PLAN VIEW



Approved By
City Administrator
[Signature]
Date
MAY 29, 1996

Approved By
City Engineer
[Signature]
Date
FEB 22, 1996

COMMERCIAL TREE

No.	Date	App.	Revision

Standard Detail No.
L-5
5 OF 5